

Submitted by: Chair of the Assembly at
the request of the Mayor
Prepared by: Planning Department
For reading February 26, 2008

CLERK'S OFFICE

APPROVED

Date: 2-26-08

Anchorage, Alaska
AR No. 2008-27

1 A RESOLUTION OF THE ANCHORAGE MUNICIPAL ASSEMBLY APPROVING
2 AN ALCOHOLIC BEVERAGES CONDITIONAL USE IN THE B-3 (GENERAL
3 BUSINESS) DISTRICT FOR A BEVERAGE DISPENSARY TOURISM USE AND
4 LICENSE PER AMC 21.40.180 D.8, FOR DENALI LODGING LLC, DBA DENALI
5 HOTEL SUITES, DBA EMBASSY SUITES HOTEL - ANCHORAGE, ALASKA;
6 LOCATED AT 600 EAST BENSON BOULEVARD, WITHIN TRACT A, HIGHLINE
7 SUBDIVISION, ADDITION #1; GENERALLY LOCATED ON THE SOUTH SIDE OF
8 BENSON BOULEVARD BETWEEN NEW SEWARD HIGHWAY AND DENALI
9 STREET.

10
11 (Midtown Community Council) (Case 2008-030)
12

13
14 THE ANCHORAGE ASSEMBLY RESOLVES:
15

16 **Section 1.** This conditional use approval is for an Alcoholic Beverages Conditional Use
17 in the B-3 District for a Beverage Dispensary Tourism Use and license per AMC
18 21.40.180 D.8, for Denali Lodging, LLC, dba Denali Hotel Suites, LLC, dba Embassy
19 Suites Hotel - Anchorage, Alaska; located within Tract A, Highline Subdivision,
20 Addition #1; generally meets the applicable provisions of AMC 21.50.020 and AMC
21 21.50.160.
22

23 **Section 2.** The conditional use for an Alcoholic Beverages Conditional Use for a
24 Beverage Dispensary Tourism Use is for a 169-guest room hotel which includes a 102-
25 chair restaurant and a 33-chair lounge/bar.
26

27 **Section 3.** The conditional use is approved subject to the following conditions:
28

29 1. A Notice of Zoning Action shall be filed with the District Recorder's Office within
30 120 days of the Assembly's approval of a final conditional use approval for a Beverage
31 Dispensary Tourism Use in the B-3 District, and compliance with the other conditions set
32 forth herein.
33

34 2. All uses shall conform to the plans and narrative submitted with this conditional use
35 application.
36

37 3. This conditional use approval is for an Alcoholic Beverages Conditional Use in the
38 B-3 District for a Beverage Dispensary Tourism Use per AMC 21.40.180.D.8, for

1 Embassy Suites Hotel – Anchorage, Alaska. The hotel has 169-guest rooms and a 102-
2 chair restaurant and a 33-chair lounge/bar.

3
4 4. The on-premise sale of alcohol beverages will be seven days a week as permitted
5 per the Alaska Alcoholic Beverage Control Board requirements. Alcoholic beverage
6 sales will constitute approximately ten (10) percent to the ratio of ninety (90) percent
7 food sales.

8
9 5. Upon demand, the applicant shall demonstrate compliance with a “Liquor Server
10 Awareness Training Program,” approved by the State of Alaska Alcoholic Beverage
11 Control Board, such as or similar to, the program for “Techniques in Alcohol
12 Management” (T.A.M.).

13
14 6. The use of the property, by any person for the permitted purposes, shall comply
15 with all current and future Federal, State and local laws and regulations, including but not
16 limited to, laws and regulations pertaining to the sale, dispensing, service and
17 consumption of alcoholic beverages, and the storage, preparation, sale, service and
18 consumption of food. The owner of the property, the licensee under the Alcoholic
19 Beverage Control license and their officers, agents and employees, shall not knowingly
20 permit, or negligently fail to prevent the occurrence of illegal activity on the property.

21
22 7. A copy of the conditions imposed by the Assembly in connection with this
23 conditional use approval shall be maintained on the premise.

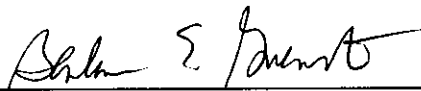
24
25 **Section 4.** Failure to comply with the conditions of this conditional use permit shall
26 constitute grounds for its modification or revocation.

27
28 **Section 5.** This resolution shall become effective immediately upon passage and
29 approval by the Anchorage Assembly.

30
31 PASSED AND APPROVED by the Anchorage Assembly this 26th day of
32 February 2008.

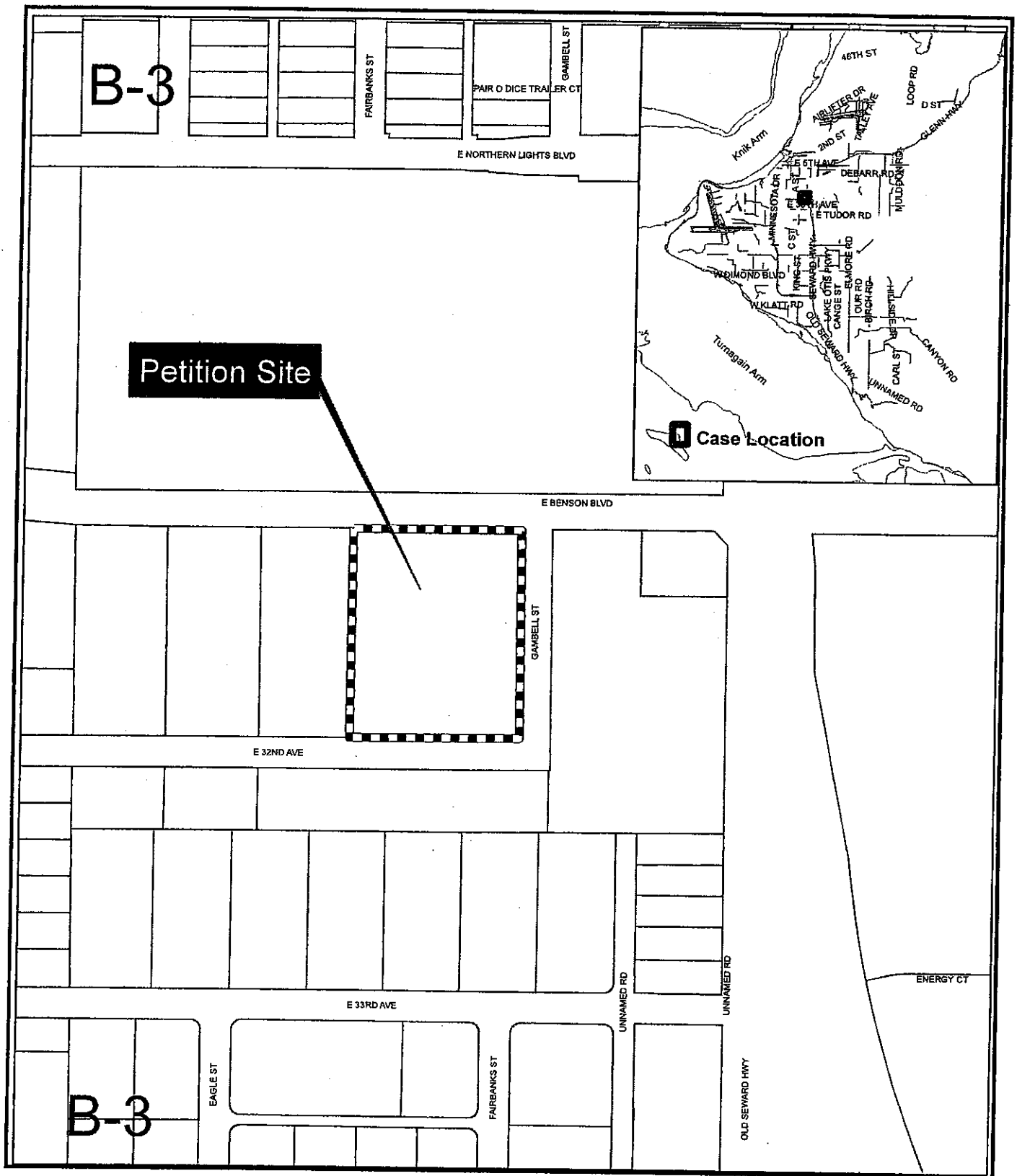
33
ATTEST:

Chair


Municipal Clerk

(Planning Case Number 2008-030)
(Tax Identification Number 009-043-36)

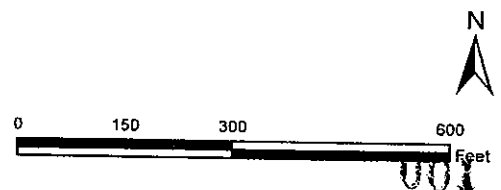
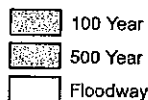
2008-030



Municipality of Anchorage
Planning Department

Date: January 02, 2008

Flood Limits



**PLANNING DEPARTMENT
STAFF ANALYSIS
CONDITIONAL USE - ALCOHOLIC BEVERAGE SALES**

DATE: February 26, 2008

CASE NO.: 2008-030

APPLICANT: Denali Lodging, LLC
dba Embassy Suites Hotel

REPRESENTATIVE: Navin C. Dimond

REQUEST: Conditional Use for an Alcoholic Beverages Conditional Use in the B-3 District for a Beverage Dispensary Tourism Use and License per AMC 21.40.180.D.8

LOCATION: Tract A, Highline Subdivision Addition 1; generally located on the south side of Benson Boulevard between New Seward Highway and Denali Street.

STREET ADDRESS: 600 E. Benson Boulevard

COMMUNITY COUNCIL: Mid-Town

TAX PARCEL: 009-043-36

ATTACHMENTS

1. Location Map
2. Departmental Comments
3. Application
4. Posting Affidavit
5. Historical Information

RECOMMENDATION SUMMARY:

This conditional use generally meets the required standards of AMC Title 10 and Title 21.

SITE:

Acres: 134,989 SF /3.1 acres
Vegetation: Arterial Landscaping along Benson Boulevard
Zoning: B-3
Topography: Generally Level
Existing Use: Hotel

Soils: Public Sewer & Water

COMPREHENSIVE PLAN – Anchorage 2020

Classification: Major Employment Mid-town Center, Redevelopment/Mixed-Use Area

Density: N/A

SURROUNDING AREA

	NORTH	EAST	SOUTH	WEST
Zoning:	B-3	B-3	B-3	R-4
Land Use:	Sears Mall	Country Village Mall; Restaurant; Fred Meyers	Vacant Apartment Retail	Town and Country Shopping Mall; other commercial

SITE DESCRIPTION AND PROPOSAL:

The petition site is bounded on the west by Denali Street, Benson Boulevard on the north, East 32nd Avenue to the south and Gambell Street on the east. The New Seward Highway is one tract to the east. A new 169 room hotel is under construction on the site. It is scheduled for completion in May, 2008. The petitioner dba Embassy Suites Hotel has applied to the Alcoholic Beverages Control Board for a new beverage dispensary tourism license.

The petitioner is seeking final conditional use approval for an alcoholic beverages conditional use in the B-3 District for a Beverage Dispensary – Tourism Use per AMC 21.40.180D.8 for the Embassy Suites Hotel. The hotel will offer complimentary breakfast, complimentary Evening Manager's Reception (which provides complimentary beer, wine and mixed drinks and Hors d'oeuvres), a full service restaurant, lobby bar and banquet/meeting facilities. The restaurant will serve lunch and dinner daily.

Alcohol will be served in the restaurant and lobby bar Monday thru Sunday during the hours 5:00 PM to 10:00 PM in the restaurant and 4:00 PM to 12:00 AM in the lobby bar. The lobby lounge has a bar with non-fixed seating for thirty-three (33). The restaurant has seating for 102. The sale of alcoholic beverages will represent 10% compared with 90% food sales. All employees that have direct contact with alcohol will be trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program. Non-alcoholic beverages will be available, notices of penalties for driving intoxicated will be posted, and patrons will have access and assistance to public transportation. There will be no entertainment defined as "indecent material" or "adult entertainment," no happy hours, games or contests that

include consumption of alcoholic beverages, and no solicitation or encouragement of alcoholic beverage consumption. Sales to persons who are inebriated or underage are prohibited. There is sufficient parking provided as evidenced by the approved building permit.

Municipal records show no schools or churches within 200 feet of the petition site.

PUBLIC COMMENTS:

Forty-seven (47) public hearing notices (PHNs) were mailed January 25, 2008. At the time this report was written, one PHN was received in favor of the conditional use.

FINDINGS

A. Furthers the goals and policies of the Comprehensive Development Plan and conforms to the Comprehensive Development Plan in the manner required by Chapter 21.05.

This subject location is depicted on the Land Use Policy Map of the Anchorage 2020 Comprehensive Plan as being within the Midtown Major Employment Center and Redevelopment/Mixed-Use Area

The Anchorage 2020 Comprehensive Plan does not specifically address the sale of alcoholic beverages in the community. A strategy of the adopted Anchorage 2020 Plan, however, calls for the development of locational standards and criteria for retail sales/service of alcoholic beverages. To date this has not been done.

Several goals of the Anchorage 2020 Plan address related issues such as recreational and economic opportunities. The sale of alcoholic beverages is part of the social, recreational and economic environment of the community. Hotel dining, night clubs, bars and restaurants which serves alcohol enhances the hospitality and tourism industry in Anchorage, and provide eating places for local residents and downtown employees. Another of the Plan's stated economic development goals are "Business Support and Development: a quality of life and a financial climate that encourages businesses to start up, expand or relocate in Anchorage (p. 41).

B. Conforms to the standards for that use in this title and regulations promulgated under this title.

This standard is met.

The B-3 Business District zoning regulations allow alcoholic beverage sales through the conditional use permit process: AMC 21.40.180 D.8. Liquor stores, restaurants, tearooms, cafes, private clubs or lodges and other places serving food or beverages involving the retail sale, dispensing or service of alcoholic beverages in accordance with section 21.50.160. Title 21 defines hotel as meaning "any building containing 20 or more guestrooms accessible only by means of an interior corridor, rented for compensation by the day or week and offered for use by the general public in conjunction with subordinate services and facilities, such as restaurants, meeting rooms and the like."

Alaska Statute 04.11.090 provides the area designated as the licensed premises under a beverage dispensary license issued to a hotel that caters to the traveling public as a substantial part of its business may include the dining room, banquet room, guests' rooms, and other public areas approved by the (Alcohol Beverage Control) board. Under this same state statute the number of new beverage dispensary licenses available is limited by a population methodology. Tourism licenses (beverage dispensary or restaurant eating place license), on the other hand, are approved by the Alcohol Beverage Control Board upon a showing that construction of a tourist facility will encourage tourism, and that the tourist business will constitute a substantial portion of the business of the tourist facility, per Alaska Administrative Code 13 AAC 104.325.

C. Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.

This standard is met.

The B-3 District is intended for general commercial uses, including hotels. The Mid-Town area commercial uses include restaurants, banks, retail stores, grocery stores, movie theaters, auto-related stores, department stores, hotels, etc. The Sears Mall is located on the north side of Benson Boulevard across the street from the hotel. The hotel restaurant and lobby bar is compatible with the B-3 District and existing uses in the Mid-Town area.

There are no Beverage Dispensary Tourism licenses within 1,000 feet of the petition site.

AMC 21.50.160.B asks that a list of all alcohol licenses located within a minimum of 1,000 feet of the proposed conditional use be provided.

There are two (2) beverage dispensary licenses, seven (7) restaurant licenses, and two (2) package store licenses. Approving this beverage dispensary tourism license will add a third beverage dispensary license but the first tourism license within a 1,000-foot radius of the petition site.

Alaska Statute 04.11.410, Restriction of location near churches and schools, restricts beverage dispensary and package store licenses from being located, measured by the shortest pedestrian route from the outer boundaries of the school ground or the public entrance of the church. According to Municipal records, there are no known churches or schools within 200 feet of the petition site.

D. Will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:

1. Pedestrian and vehicular traffic circulation and safety.

This standard is met.

The B-3 District provides that all required parking be provided on site. The 169 room hotel requires one parking space per guest room, and does not calculate additional parking for the restaurant use or lounge/bar use. Including six handicap spaces, 176 parking spaces are provided. Two Type B loading berths are provided.

The Traffic Department and the State of Alaska Department of Transportation had no comments on this request. Driveway access has been approved to Benson Boulevard and East 32nd Avenue. Public transportation is available demand for and along the Old Seward Highway.

2. The availability of public services and facilities.

This standard is met.

Electrical, water and sewer, natural gas are available on site. Road infrastructure and public transit is already in place.

3. Noise, air, water, or other forms of environmental pollution.

This standard is met.

As a land use, a beverage dispensary conditional use in a billiard parlor and license will not cause or contribute to any environmental pollution. The public parking lot is paved, which helps control air pollution.

4. The maintenance of compatible and efficient development patterns and land use intensities.

This standard is met.

The zoning, land use and the general area land use will not change as a result of this conditional use permit for a beverage dispensary license. This is an existing commercial site.

Standards Chapter 10.50 Alcoholic Beverages

In the exercise of its powers and under AS 04.11.480 and 13 AAC 104.145 to protest issue, renewal and transfer or alcoholic beverage licenses within the Municipality of Anchorage, the Assembly shall consider whether the proposed license meets each and every factor and standard set forth below

A. Concentration and land use. Whether transfer of location or issue of the requested license will negatively impact the community through an increase in the concentration of uses involving the sale or service of alcoholic beverages within the area affected and will conform to the separate standards of AMC 21.50.020.

Approval of this conditional use will add a third beverage dispensary license within 1,000-feet.

The Office Lounge	545 E. Northern Lights Blvd.	License #806	Beverage Dispensary
Kinley's Bar & Grill	3220 Seward Hwy.	License #4664	Beverage Dispensary
Moose's Tooth Pub & Pizzeria	3220 Seward Hwy.	License #4664	Beverage Dispensary
Pizza Plaza	601 E. Northern Lights Blvd.	License #891	Restaurant
Panda Restaurant	605 E. Northern Lights Blvd.	License #3077	Restaurant
Peking Palace	500 E. Benson Blvd.	License #1691	Restaurant
Café Amsterdam	530 E. Benson Blvd. #3	License #3219	Restaurant
Qdoba Mexican	702 E. Benson Blvd.	License #4474	Restaurant

Grill			
Clair d'Loon	3210 Denali Street #8	License #4291	Restaurant
Sushi & Sushi	3337 Fairbanks St.	License #1866	Restaurant
Fred Meyers #11	1000 E. Northern Lights Blvd.	License #4179	Package Store
Oaken Keg Spirit Shop #1806	600 E. Northern Lights	License #795	Package Store

- B. Training. If application is made for issue, renewal or transfer of a beverage dispensary license, restaurant or eating place license, or package store license, whether the applicant can demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program approved by the State of Alaska alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.). Until such plan is approved, training by a licensee's employees in the T.A.M. shall constitute compliance with this ordinance.**

This standard is met.

The applicant states that all employees involved in the dispensing of alcoholic beverages will be trained in accordance with the T.A.M. training and hold the appropriate certificates.

- C. Operations procedures. If application is made for issue, renewal or transfer of a license, whether the applicant can demonstrate prospective or continued compliance with operations procedures for licensed premises set forth in Section 10.50.035 of this code.**

This standard is met.

AMC 10.50.035 sets forth that persons seeking the issue or transfer of a license shall comply with restrictions regarding happy hours, games or contests involving the consumption of alcohol, public transportation, notice of penalties, availability of nonalcoholic drinks, compliance determination with techniques in alcohol management (T.A.M.), solicitation of purchase of alcoholic beverages for consumption by employees, and warning signs. The petitioner has stipulated in his application that he will abide by requirements of AMC 10.50.035.

The restaurant operates seven days a week. Alcohol sales will be "as permitted per ABC requirements, only during the hours allowed for the specific day of the week applicable".

- D. Public safety.** When application is made for the renewal or transfer of location or transfer of ownership of a beverage dispensary license restaurant or eating place license, or package store license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premise. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

This standard appears to be met.

According to the application the petitioner states that the employees will be trained and patron identification will be checked. At the time this report was written, no comments had been received from the Anchorage Police.

- E. Payment of taxes and debts.** When application is made for renewal of a license the assembly shall consider, pursuant to AS 4.11.330, whether the applicant is delinquent in payment of taxes owed to the Municipality. When application is made for transfer of ownership of a license the Assembly shall consider, pursuant to AS 4.11.360, whether the municipality has received either payment or adequate security, for the payment of any debts or taxes, including any estimated taxes for the current year, arising from the conduct of the licensed business. Adequate security for the payment of debts and taxes may be in the form of: 1) escrowed funds sufficient to pay the debts and taxes claimed and any escrow fees; 2) actual payment of debts and taxes claimed; or, 3) a guarantee agreement in accordance AMC 10.50.030. Any guarantee agreement shall be in writing, signed by the transferor, transferee and Municipality

This standard is met.

There are no delinquent Personal Property Taxes, Real Property Taxes owing at this time according to the Treasury Division.

- F. Public health.** If application is made for the renewal or transfer of location or transfer of ownership of a license, the Assembly shall consider whether the operator has engaged in a pattern of practices

injurious to public health or safety such as providing alcohol to minors or intoxicated persons, committing serious violations of State law relevant to public health or safety, or other actions within the knowledge and control of the operator which place the public health or safety at risk. In determining if a pattern of practices injurious to public health or safety exists, the Assembly may consider criminal convictions, credible proof of illegal activity even if not prosecuted, police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection.

No comments were received from the Department of Health and Human Services at the time this report was written.

- G. Municipality of Anchorage Alcoholic Beverage Licensee Compliance Form.** In order to determine whether applicants seeking issue, renewal or transfer of alcoholic beverage licenses have complied with the provisions of this chapter, applicants shall, at the request of the Assembly, submit to the municipal clerk such information as is required on a municipal form prepared by the municipal clerk known as the Municipality of Anchorage Alcoholic Beverage Licensee Compliance Form. Upon request, operators shall also provide the municipal clerk with certificates from all current employees demonstrating that those employees have successfully completed a "Liquor Service Awareness Training Program" such as the program for techniques in alcohol management (T.A.M.) as approved by the State of Alaska Alcoholic Beverage Control Board.

This form was not requested of this applicant.

RECOMMENDATION:

This application for an Alcoholic Beverage Dispensary Tourism Conditional Use in the B-3 District for Embassy Suites Anchorage per AMC 21.40.180.D.8, located at 600 E. Benson Blvd. This conditional use and license generally meets the required standards of AMC Title 10 and Title 21.

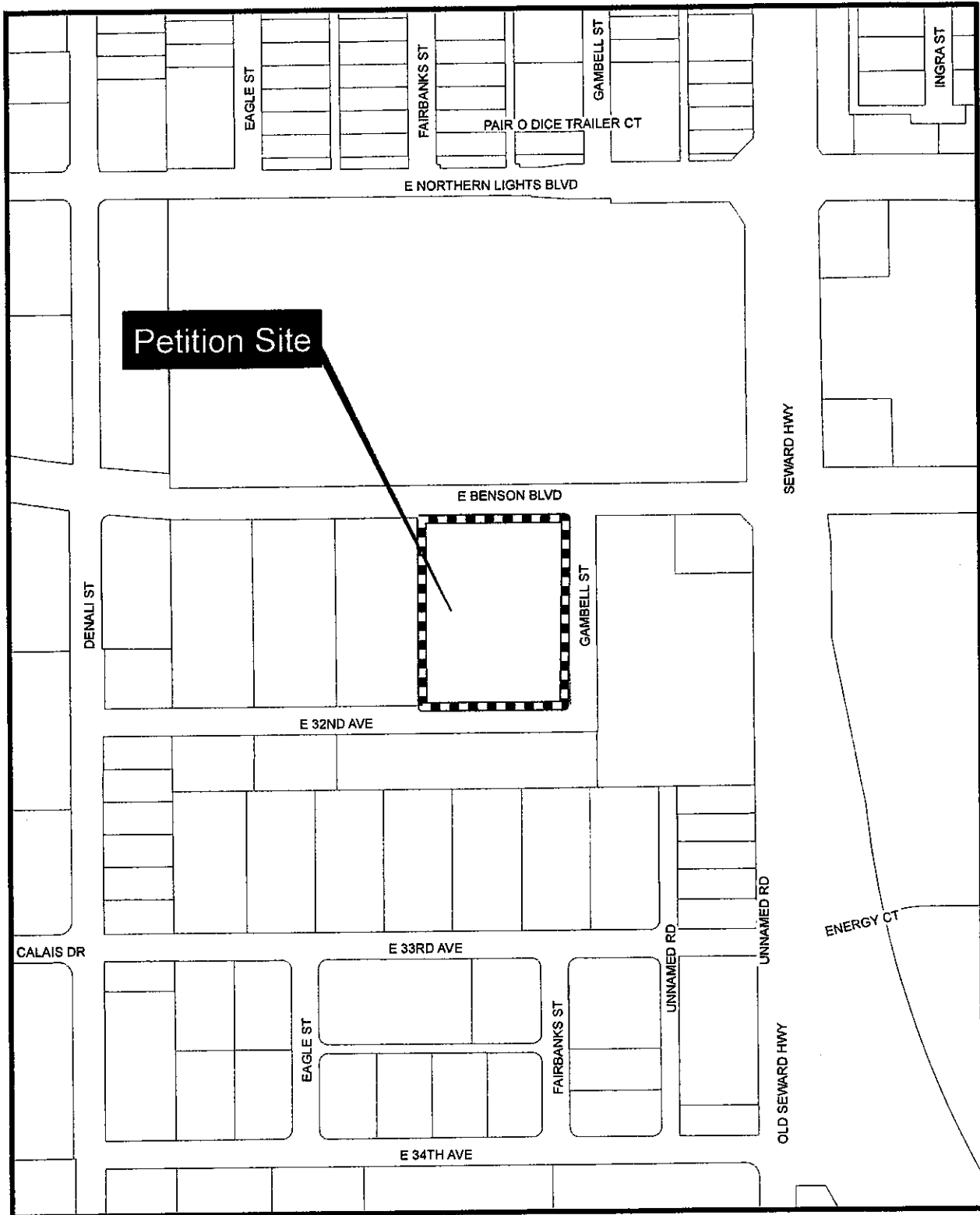
If after a public hearing on the matter, the Anchorage Assembly finds that the required standards have been met; staff recommends the following conditions of Approval:

1. A notice of Zoning Action shall be filed with the District Recorder's Office within 120 days of the Assembly's approval of a final conditional use

approval for a Beverage Dispensary Tourism Use in the B-3 District and compliance with the other conditions set forth herein.




2. All uses shall conform to the plans and narrative submitted with this conditional use application.
3. This conditional use approval is for an Alcoholic Beverage Dispensary Tourism Conditional Use for the Embassy Suites Hotel Anchorage, Alaska in the B-3 District per AMC 21.40.180.D.8.
4. On-premise sale of alcohol beverages will be seven days a week as permitted by ABC regulations. Alcoholic beverage sales will constitute approximately ten (10) percent to the ratio of ninety (90) percent food sales.
5. Upon demand, the applicant shall demonstrate compliance with a liquor "Server Awareness Training Program," approved by the State of Alaska Alcoholic Beverage Control Board, such as or similar to the program for "Techniques in Alcohol Management" (T.A.M.).
6. The use of the property by any person for the permitted purposes shall comply with all current and future federal, state and local laws and regulations including but not limited to laws and regulations pertaining to the sale, dispensing, service and consumption of alcoholic beverages and the storage, preparation, sale, service and consumption of food. The owner of the property, the licensee under the Alcoholic Beverage Control license and their officers, agents and employees shall not knowingly permit or negligently fail to prevent the occurrence of illegal activity on the property.
7. A copy of the conditions imposed by the Assembly in connection with this conditional use approval shall be maintained on the premise.

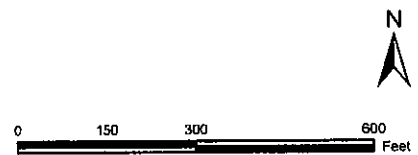
2008-030



Municipality of Anchorage
Planning Department

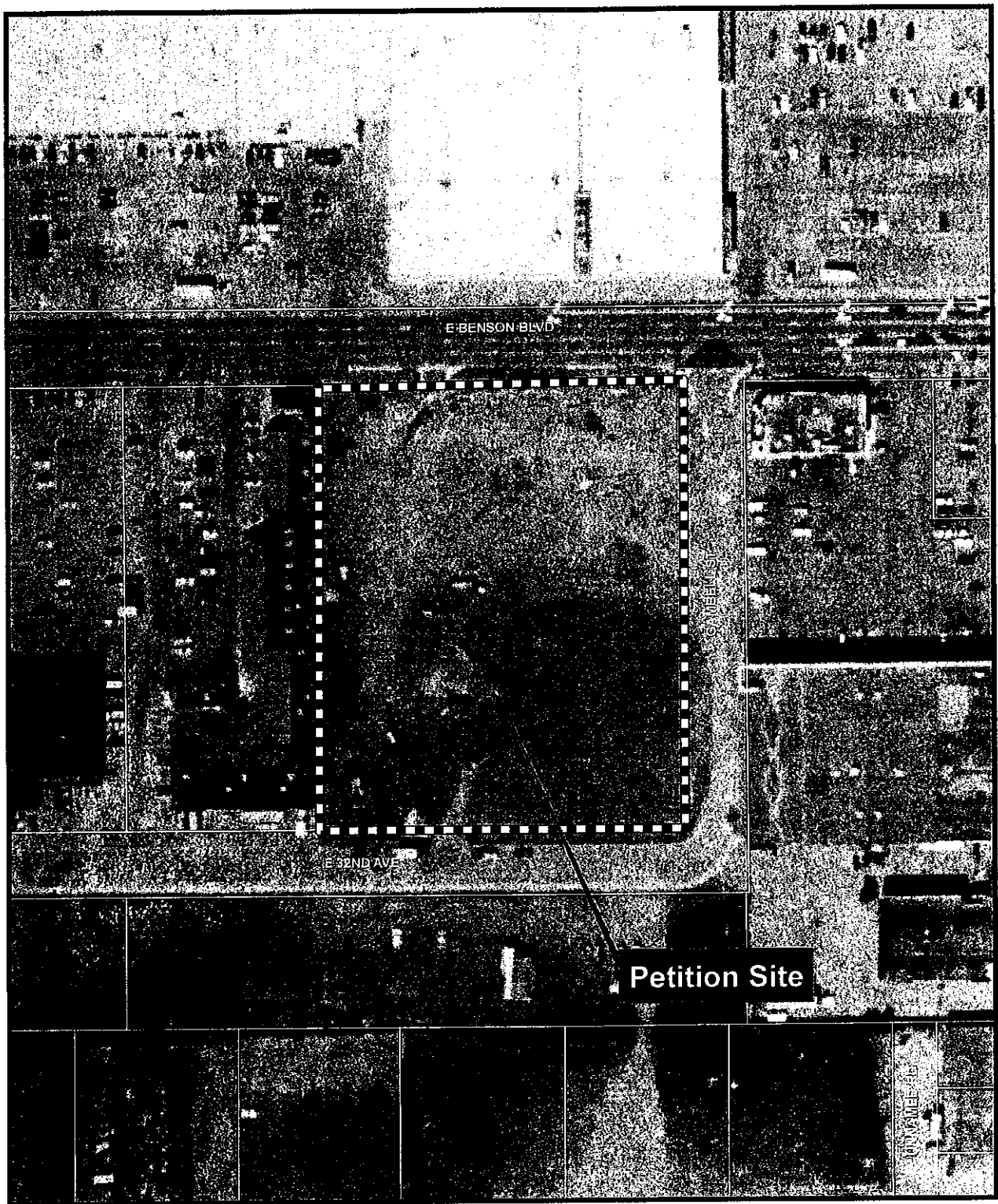
Date: January 3, 2008

-  Single Family
-  Multi-Family
-  Mobile Home Park



012

2008-030



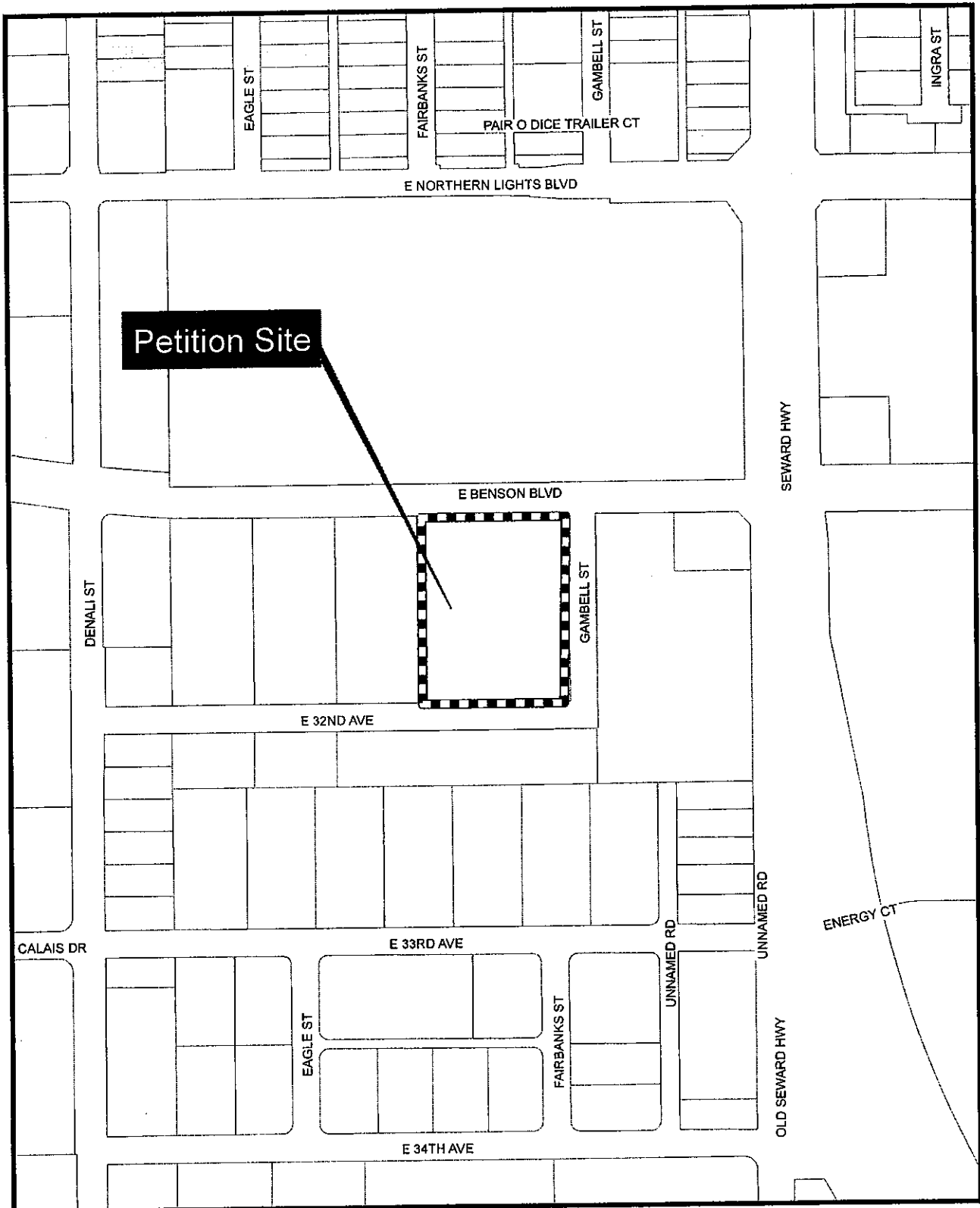
Municipality of Anchorage
Planning Department

Date: January 2, 2008






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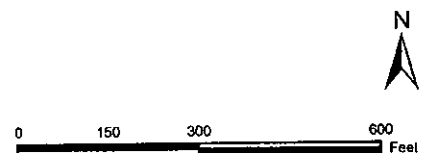
2008-030



Municipality of Anchorage
Planning Department

Date: January 3, 2008

-  Single Family
-  Multi-Family
-  Mobile Home Park



Alcohol Existing License List Report

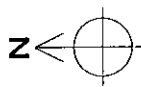
Case Number: 2008-030 Description: 1000'

Parcel Business Name	Parcel Owner Name Applicant Name	Parcel Owner Address Business Address	City Lic. Number	State Lic. Zone	Zip Lic. Type
00320115000 Fred Meyer #11	FRED MEYER STORES INC Fred Meyers Stores Inc.	3336 E 32ND ST #217 1000 E Northern Lights Blvd	TULSA 4179	OK B3	74135 Package Store
00901438000 Office Lounge	MARSCH KURT P & PAMELA L Abdul-Halim, Nura	8133 OLD SEWARD HWY 545 E Northern Lights Blvd	ANCHORAGE 806	AK B3	99518 Beverage Dispensary
00901501000 Pizza Plaza	MATARAGAS EFSTATHIOS K & PJ's Pizza Plaza, Inc	601 E NORTHERN LTS BLVD 601 E Northern Lights Blvd	ANCHORAGE 891	AK B3	99503 Restaurant/Eating Place
00901549000 Panda Restaurant	CHOI DAE H & JUNG S Jin Song Zhao/Tseng Chaing Lee	2341 HEATHERBROOK CIR 605 E Northern Lights Blvd	ANCHORAGE 3077	AK B3	99504 Restaurant/Eating Place
00904201000 Oaken Keg Spirit Shop #1806	SEARS ROEBUCK & COMPANY Carr Gottstein Food Co.	3333 BEVERLY ROAD/B2-122A 600 E Northern Lights Blvd	HOFFMAN EST 795	IL B3	60179 Package Store
00904333000 Peking Palace	WEDGEWOOD MORTGAGE LLC Choi, Joon K.	6130 OLD SEWARD HWY #B 500 E Benson Blvd	ANCHORAGE 1691	AK B3	99518 Restaurant/Eating Place
00904334000 Café Amsterdam	SHIMEK JOSEPH R W Shauna Pajak	PO BOX 93890 530 E Benson Blvd #3	ANCHORAGE 3961	AK B3	99509 Restaurant/Eating Place
00904342000 Qdoba Mexican Grill	FURNITURE ENTERPRISES OF Flavors West LLC	940 E 38TH AVE 702 E Benson Blvd	ANCHORAGE 4474	AK B3	99503 Restaurant/Eating Place
00905111000 Clair d' Loon	CALAIS CO INC Karen Lesko, Stephen P. Lesko	2525 BLUEBERRY RD STE 204 3210 Denali St #8	ANCHORAGE 4291	AK B3	99503 Restaurant/Eating Place
00905222000 Kinley's Bar & Grill	YORBA LLC Kinley's Restaurant & Bar, Inc	7146 CANDACE CIRCLE 3220 Seward Hwy	ANCHORAGE 4664	AK B3	99516 Beverage Dispensary
00905230000 Sushi & Sushi	LEE AE KYONG LMK Inc.	2861 BELUGA BAY CIRCLE 3337 Fairbanks St	ANCHORAGE 1866	AK B3	99507 Restaurant/Eating Place
00905282000 Moose's Tooth Pub & Pizzeria	MORELAND PROPERTIES LLC Fresh Ale Pubs, LLC	1317 W NORTHERN LIGHTS BLVD 3300 Old Seward Hwy	ANCHORAGE 3971	AK B3	99503 Beverage Dispensary

Parcels--Basic Layers

Mon Feb 11, 12:31:02, 2008

Map: Parcels--Basic Layers



Scale 1:6000

Legend:

Txt STRNAME_BI_DIR

ALCOHOL

PARCELS

1000 ft.



016



DEPARTMENTAL
COMMENTS

Municipality of Anchorage
Treasury Division
Memorandum

Date: January 23 2008
To: Rich Cartier, Planning Dept.
From: Daisy VanNortwick, Revenue Officer
Subject: Liquor License Conditional Use Comments

RECEIVED
JAN 24 2008
PLANNING DEPARTMENT

Request: Conditional Use permit # 2008-030 Denali Lodging LLL dba Denali Hotel Suites, dba Embassy Suites
Anchorage, located at , 600 E Benson Blvd. Anchorage AK 99503

I find no outstanding taxes on this application, and see no reason for not approving it



Municipality of Anchorage
Project Management & Engineering Department



Comments to Miscellaneous Zoning Applications RECEIVED

JAN 30 2008

DATE: January 29, 2008

MUNICIPALITY OF ANCHORAGE
PLATTING DIVISION

TO: Jerry Weaver, Platting Officer

FROM: Sharen Walsh, P.E., Private Development Plan Review Engineer

SUBJECT: Comments for hearing date: February 26, 2008

Case No. 2008-030 - Request for a conditional use to permit: a hotel serving alcoholic beverages

PM&E has no objection to this conditional use request.

Case No. 2008-031 - Request for a conditional use to permit: an alcoholic beverage dispensary use

PM&E has no objection to this conditional use request.



MUNICIPALITY OF ANCHORAGE
Traffic Department



MEMORANDUM

RECEIVED

DATE: January 15, 2008

JAN 17 2008

TO: Jerry T. Weaver, Platting Supervisor, Planning Department

MUNICIPALITY OF ANCHORAGE
PLATTING DIVISION

THRU: Leland R. Coop, Associate Traffic Engineer *LC*

FROM: Mada Angell, Assistant Traffic Engineer *MA*

SUBJECT: Traffic Engineering and Transportation Planning Comments for
February 26, 2008 Assembly Public Hearing

08-030

Highline; Conditional Use to serve alcohol; Embassy Suites

If no additional parking is required as a result of this conditional use application,
Traffic Engineering and Transportation Planning have no comment.

08-031

**International Airport; minor amendment to conditional use to
serve alcohol**

Traffic Engineering and Transportation Planning have no comment.

E-MAILED

**Municipality Of Anchorage
ANCHORAGE WATER & WASTEWATER UTILITY**

M E M O R A N D U M

DATE: January 8, 2008
TO: Jerry Weaver, Zoning Division Administrator, Planning Department
FROM: Paul Hatcher, Engineering Technician III, AWWU PAH
SUBJECT: **Zoning Case Comments**
Planning & Zoning Commission Hearing February 26, 2008
Agency Comments due January 29, 2008

AWWU has reviewed the materials and has the following comments.

08-030 HIGH LINE #1 TR A, A request concept/final approval of a conditional use to permit: a hotel serving alcoholic beverages, Grid SW1631

1. AWWU water main line located in E 32nd Avenue currently serves property.
2. AWWU sanitary sewer line located in E 32nd Avenue currently serves property.
3. AWWU has no objection to the conditional use permit.

08-031 ADA 30271 INTL ARPT MAIN TERMINAL LEASE, A request concept/final approval of a conditional use to permit: an alcoholic beverage dispensary use, Grid SW1924

1. AWWU water and sanitary sewer currently serve this property.
2. AWWU has no objection to the conditional use permit.

If you have any questions pertinent to public water and sanitary sewer, you may call me at 564-2721 or the AWWU planning section at 564-2739, or e-mail paul.hatcher@awwu.biz.

Municipality of Anchorage
P. O. Box 196650
Anchorage, Alaska 99519-6650
(907) 343-7942



009-052-35-000
WESTSIDE DEVELOPMENT LLC
1010 BEECH LANE
ANCHORAGE, AK 99501

RECEIVED

JAN 28 2008

Municipality of Anchorage
Zoning Division

**ASSEMBLY
NOTICE OF PUBLIC HEARING - - Tuesday, February 26, 2008**

Planning Dept Case Number: ~~99501-2303-0001~~ **2008-030** |||||

The Assembly of the Municipality of Anchorage will hold a public hearing on a petition proposing a conditional use at its regular meeting of Tuesday, February 26, 2008. The meeting begins at 6:00 p.m. in the Assembly Chambers of the Z. J. Loussac Library, 3600 Denali Street. The petition is for the following:

CASE: 2008-030
PETITIONER: Denali Lodging, LLC
REQUEST: Assembly conditional use for a hotel serving alcoholic beverages
TOTAL AREA: 3.100 acres
SITE ADDRESS: 600 E BENSON BLVD
CURRENT ZONE: B-3 General business district
COM COUNCIL(S): 1---Midtown 2---Rogers Park

LEGAL/DETAILS: A Beverage Dispensary-Tourism Alcoholic Beverage Conditional Use for Embassy Suites Hotel. High Line Subdivision #1, Tract A.

The Zoning Ordinance requires that you be sent notice because your property is within the vicinity of the petition area. This will be the only public hearing and you are invited to attend and present testimony, if you so desire.

If you would like to comment on the petition this form may be used for the purpose of the public hearing. Mailing Address: Municipality of Anchorage, Department of Planning, P.O. Box 196650, Anchorage 99519-6650. For more information call: (907) 343-7942; FAX 343-7927. Case information may be viewed at www.municipalityofanchorage.org by selecting Departments/Planning/Zoning and Platting Cases.

Name: Westside Development, LLC / LOTTIE MICHAEL
Address: _____
Legal Description: _____
Comments: No objection

2008-030

022

3

APPLICATION

Application for Conditional Use Retail Sale Alcoholic Beverages

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

Please fill in the information asked for below.

PETITIONER*		PETITIONER REPRESENTATIVE (IF ANY)	
Name (last name first) Dimond, Navin C. <i>for Denali Lodging LLC</i>		Name (last name first)	
Mailing Address 9100 E. Panorama Drive # 300		Mailing Address	
Englewood CO 80112			
Contact Phone: Day: 303-785-3100 Night:		Contact Phone: Day: Night:	
FAX: 303-785-3199		FAX:	
E-mail: ndimond@sbcos.com		E-mail:	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000): 009-043-36-00013		
Site Street Address: 600 E. Benson Blvd Anchorage AK 99503		
Property Owner (if not the Petitioner):		
Current legal description: (use additional sheet in necessary) Tract A, Highline subdivision, addition 1, according to the official plat thereof, filed under Plat # 70-296		
Zoning: B-3	Acreage: 3.1	Grid # SW163

ALCOHOLIC BEVERAGE CONTROL BOARD LICENSE PROPOSED		
<input type="checkbox"/> Beverage Dispensary	<input type="checkbox"/> Private Club	<input type="checkbox"/> Restaurant, exempt
<input checked="" type="checkbox"/> Beverage Dispensary-Tourism	<input type="checkbox"/> Public Convenience	<input type="checkbox"/> Theater
<input type="checkbox"/> Brew Pub	<input type="checkbox"/> Recreational	<input type="checkbox"/> Other (Please explain):
<input type="checkbox"/> Package Store	<input type="checkbox"/> Restaurant	
Is the proposed license: <input checked="" type="checkbox"/> New <input type="checkbox"/> Transfer of location: ABC license number:		
Transfer license location:		
Transfer licensed premises doing business as:		

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for a retail sale of alcoholic beverages conditional use permit in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department, Municipal Clerk, or the Assembly for administrative reasons.

Date	Signature (Agents must provide written proof of authorization)		
Accepted by: M.A.	Poster & Affidavit:	Fee: \$4000.00	Case Number: 2008-030

COMPREHENSIVE PLAN INFORMATION

Anchorage 2020 Urban/Rural Services: ☒ Urban ☐ Rural

Anchorage 2020 West Anchorage Planning Area: ☐ Inside ☒ Outside

Anchorage 2020 Major Urban Elements: Site is within or abuts:

☒ Major Employment Center ☐ Redevelopment/Mixed Use Area ☐ Town Center

☐ Neighborhood Commercial Center ☐ Industrial Center

☐ Transit - Supportive Development Corridor

Eagle River-Chugiak-Peters Creek Land Use Classification:

☐ Commercial ☐ Industrial ☐ Parks/opens space ☐ Public Land Institutions

☐ Marginal land ☐ Alpine/Slope Affected ☐ Special Study

☐ Residential at _____ dwelling units per acre

Girdwood-Turnagain Arm

☐ Commercial ☐ Industrial ☐ Parks/opens space ☐ Public Land Institutions

☐ Marginal land ☐ Alpine/Slope Affected ☐ Special Study

☐ Residential at _____ dwelling units per acre

ENVIRONMENTAL INFORMATION (All or portion site affected)

Wetland Classification: ☐ None ☐ "C" ☐ "B" ☐ "A"

Avalanche Zone: ☐ None ☐ Blue Zone ☐ Red Zone

Floodplain: ☐ None ☐ 100 year ☐ 500 year

Seismic Zone (Harding/Lawson): ☐ "1" ☐ "2" ☐ "3" ☐ "4" ☒ "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion site)

☐ Rezoning - Case Number: _____

☐ Preliminary Plat ☐ Final Plat - Case Number(s): _____

☐ Conditional Use - Case Number(s): _____

☐ Zoning variance - Case Number(s): _____

☐ Land Use Enforcement Action for _____

☐ Building or Land Use Permit for _____

☐ Wetland permit: ☐ Army Corp of Engineers ☐ Municipality of Anchorage

DOCUMENTATION

Required:

☒ Site plan to scale depicting: building footprints; parking areas; vehicle and pedestrian circulation; lighting; landscaping; signage; and licensed premises location.

☒ Building plans to scale depicting: floor plans indicating the location of sales and service areas; building elevations (photographs are acceptable).

☒ Photographs of premises from each street frontage that include and show relationship to adjacent structures and the premises visible street address number.

☐ Narrative: explaining the project; construction, operation schedule, and open for business target date.

☐ Copy of a zoning map showing the proposed location.

☒ Copy of completed Alcoholic Beverage Control Board liquor license application form including all drawings and attachments, if filed with ABC Board.

Optional: ☐ Traffic impact analysis ☐ Economic impact analysis ☐ Noise impact analysis

PROPERTY OWNER AUTHORIZATION* (If petitioner is not property owner)

(I)(WE) hereby grant permission to and acknowledge that person shown as the petitioner on this application is applying for a conditional use permit for the retail sales of alcoholic beverages on a property under (MY)(OUR) ownership and that as part of the conditional use permit process the Assembly may apply conditions which will be (MY)(OUR) responsibility to satisfy.

--	--

Date _____ Signature _____

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

FACILITY OPERATIONAL INFORMATION

What is the proposed or existing business name (Provide both if name is changing):

Embassy Suites Anchorage

What is the gross leaseable floor space in square feet?

N/A

What is the facility occupant capacity?

see attached sheet

What is the number of fixed seats(booth and non movable seats)?

see attached sheet

What is the number non-fixed seats(movable chairs, stools, etc.)?

see attached sheet

What will be the normal business hours of operation?

Hotel: 24 hours, seven days a week

What will be the business hours that alcoholic beverages will be sold or dispensed?

depending on function NOON - 1:00am

What do you estimate the ratio of food sales to alcohol beverage sales will be?

10 % Alcoholic beverage sales

90 % Food sales

Type of entertainment proposed: (Mark all that apply)

☒ Recorded music ☒ Live music ☐ Floor shows ☒ Patron dancing ☐ Sporting events ☐ Other ☐ None

Do you propose entertainment or environmental conditions in the facility that will meet the definition of "indecent material" or "adult entertainment" as set forth by AMC 8.05.420 Minors-Disseminating indecent material or AMC 10.40.050 Adult oriented establishment? ☐ Yes ☒ No

DISTANCE FROM CHURCHES, DAY CARE, AND SCHOOLS

Locate and provide the names and address of all churches, day care, and public or private schools within 200 feet of the site property lines

Name	Address
<i>None within 200 feet</i>	

PACKAGE STORES

Provide the projected percentage of alcoholic product inventory in the store where the retail unit price is:

%	less than \$5.00
%	\$5.00 to \$10.00
%	\$10.00 to \$25.00
%	greater than \$25.00

CONDITIONAL USE STANDARDS

The Assembly may only approve the conditional use if it finds that all of the following 4 standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you. Use additional paper if needed.

Explain how the proposed conditional use furthers the goals and policies of the comprehensive development plan and conforms to the comprehensive development plan in the manner required by AMC 21.05.

This upscale hotel will be a travel destination for tourists & leisure travellers planning on visiting Anchorage. Tourism will be increased & jobs will be created. In addition the Embassy Suites will meet the needs of the corporate & local businesses in the midtown area by providing lodging, meeting & restaurant & catering / banquet facilities. The hotel has undergone extensive planning & review in order to conform to state & municipal laws.

Explain how the proposed conditional use conforms to the standards for that use in this title and regulations promulgated under this title.

The hotel's proposed conditional use is an integral part of the Embassy Suites Hotel Brand concept, which will bring an upscale, full service hotel to Anchorage. The hotel will offer its guests complimentary breakfast, an evening managers reception (wine, beer, mixed drinks & snacks) from 5-7 pm, restaurant, lobby bar, meeting & banquet facilities.

Explain how the proposed conditional use will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.

The proposed conditional use will complement the existing establishments in the surrounding neighborhood by offering its guests / patrons dining, catering & meeting facilities all under one roof as the Embassy Suites Hotel.

Explain how the proposed conditional use will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:

1. Pedestrian and vehicular traffic circulation and safety. The proposed conditional use will not affect vehicular/pedestrian traffic as the guests/patrons of the hotel will already be using the guestrooms, restaurant, & meeting room space. The conditional use will enhance the level of service we can offer. Hotel ingress & egress was approved by AK Dept. of Transportation & improvements have been made to Gambell Street to better facilitate vehicular & pedestrian traffic.
2. The demand for and availability of public services and facilities. The proposed use will not increase demand for public services. The hotel has been designed to meet both state & municipal requirements, including major utilities. The hotel was constructed with a life safety system designed to insure the safety of our guests.
3. Noise, air, water or other forms of environmental pollution. The hotel will have adequate staffing & security procedures in place to ensure that excessive noise will not be a problem.
4. The maintenance of compatible and efficient development patterns and land use intensities. The hotel has undergone considerable planning & development to meet state & municipal laws & requirements. The proposed conditional use would have no effect on development patterns or land use intensities.

STANDARDS CHAPTER 10.50 ALCOHOLIC BEVERAGES

In the exercise of its powers and under AS 04.11.480 and 15 AAC 104.145 to protect issue, renewal and transfer of alcoholic beverage licenses within the Municipality of Anchorage, the Assembly shall consider whether the proposed license meets each and every factor and standard set forth below.

Concentration and land use. Whether transfer of location or issue of the requested license will negatively impact the community through an increase in the concentration of uses involving the sale or service of alcoholic beverages within the area affected and will conform to the separate standards of AMC 21.50.020.

How many active liquor licenses are located on the same property as your proposed license? *none*

Within 1,000 feet of your site are how many active liquor licenses? 1. *moose's tooth* 2. *Amsterdam cafe*
3. *Peking Palace* 4. *office lounge*

How would you rate this area's license concentration on a scale of 1 to 5 with 5 = high *2.5*

How many active liquor licenses are within the boundaries of the local community council?
Our council is midtown but they were unable to provide this information

In your opinion, is this quantity of licenses a negative impact on the local community? *no. Primarily the licensed establishments are offering wine, beer & spirits at their eating establishments, which caters to their patrons.*

Training. If application is made for issue, renewal or transfer of a beverage dispensary license, restaurant or eating place license, or package store license, whether the applicant can demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program approved by the State of Alaska Alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.). Until such plan is approved, training by a licensee's employees in the T.A.M. shall constitute compliance with this ordinance.

How many employees in direct contact with alcohol will be trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program?

All employees in direct contact with alcohol and all senior management will be trained in the T.A.M. This will constitute approximately 30% of the 75-80 employees at the hotel. Ongoing training will take place & all training will be documented in the employee's file.

Operations procedures. If application is made for issue, renewal, or transfer of a license, whether the applicant can demonstrate prospective or continued compliance with operations procedures for licensed premises set forth in Section 10.50.035 of this code.

- | | | |
|---|--|---|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Happy hours? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Games or contests that include consumption of alcoholic beverages? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | Patron access and assistance to public transportation? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | Notice of penalties for driving while intoxicated posted or will be posted? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | Non-alcoholic drinks available to patrons? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Solicitation or encouragement of alcoholic beverage consumption? |

Public safety. When application is made for the renewal or transfer of location or transfer of ownership of a beverage dispensary license restaurant or eating place license, or package store license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premises. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

What are the proposed precautions to maintain order and prevent unlawful conduct at the licensed premises?

inside facility: Every employee will be trained on how to manage situations with an intoxicated / unruly patron. All servers & managers will be trained on the T.A.M. program, which is standard operating procedure for the hotel. They will specifically be trained on how to report fraud, invalid IDs and how to manage minors.

outside facility: Parking Lot monitoring will be done by managers on duty, and staff will be trained to manage unlawful conduct or disturbances. The hotel will work closely with the Anchorage Police Dept.

Payment of taxes and debts. When application is made for renewal of a license the assembly shall consider, pursuant to AS 4.11.330, whether the applicant is delinquent in payment of taxes owed to the Municipality. When application is made for transfer of ownership of a license the Assembly shall consider, pursuant to AS 4.11.360, whether the municipality has received either payment or adequate security, for the payment of any debts or taxes, including any estimated taxes for the current year, arising from the conduct of the licensed business. Adequate security" for the payment of debts and taxes may be in the form of: 1) escrowed funds sufficient to Pay the debts and taxes claimed and any escrow fees; 2) actual payment of debts and taxes claimed; or, 3) a guarantee agreement in accordance AMC 10.50.030. Any guarantee agreement shall be in writing, signed by the transferor, transferee and Municipality

☒ Yes ☐ No *Are real estate and business property taxes current?*
☐ Yes ☒ No *Are there any other debts owed to the Municipality of Anchorage?*

Public health. If application is made for the renewal or transfer of location or transfer of ownership of a license, the Assembly shall consider whether the operator has engaged in a pattern of practices injurious to public health or safety, such as providing alcohol to minors or intoxicated persons, committing serious violations of State law relevant to public health or safety, or other actions within the knowledge and control of the operator which place the public health or safety at risk. In determining if a pattern of practices injurious to public health or safety exists, the Assembly may consider criminal convictions, credible proof of illegal activity even if not prosecuted, police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection.

☒ Yes ☐ No *As the applicant and operator can you comply? If no explain*

Liquor License

Corporations, LLCs, LLPs and LPs must be registered with the Dept. of Community and Economic Development.

Name of Entity (Corporation/LLC/LLP/LP) (or N/A if an Individual ownership) Denali Lodging, LLC d/b/a Denali Hotel Suites, LLC (Entity # 103253)	Telephone Number 303-785-3100	Fax Number 303-785-3199
Corporate Mailing Address: 9100 East Panorama Drive # 300	City Englewood	State CO
		Zip Code 80112
Name, Mailing Address and Telephone Number of Registered Agent CT Corporation System 9360 Glacier Hwy Juneau, AK 99801	Date of Incorporation OR Certification with DCED 9/1/2006	State of Incorporation Colorado
Is the Entity in compliance with the reporting requirements of Title 10 of the Alaska Statutes? <input type="checkbox"/> Yes <input type="checkbox"/> No If no, attach written explanation. Your entity <i>must</i> be in compliance with Title 10 of the Alaska Statutes to be a valid liquor licensee.		

Entity Members (Must include President, Secretary, Treasurer, Vice-President, Manager and Shareholder/Member with at least 10%)

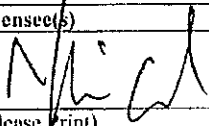
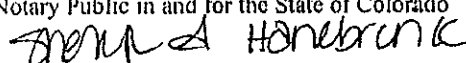
Name	Title	%	Home Address & Telephone Number	Work Telephone Number	Date of Birth
Navin Dimond (Mgr Denali Lodging, LLC)	Mgr		184 Morgan Place Castle Rock, CO 80108 303-663-8600	303-785-3100	5-1-62
Dimond Holdings, LLC	Member	50%	9100 E. Panorama Drive #300 Englewood, CO 80112	303-785-3100	N/A
James P. Koehler	Member	50%	39074 Edgewood Lane Aberdeen, SD 57401 (605) 229-1616	(605) 229-0030	8-17-51
See additional Sheet for more information					
NOTE: On a separate sheet provide information on ownership other organized entities that are shareholders of the licensee.					

Individual Licensees/Affiliates (The ABC Board defines an "Affiliate" as the spouse of a licensee. Each Affiliate must be listed.)

Name: Address:	Applicant <input type="checkbox"/> Affiliate <input type="checkbox"/>	Name: Address:	Applicant <input type="checkbox"/> Affiliate <input type="checkbox"/>
Home Phone: Work Phone:	Date of Birth:	Home Phone: Work Phone:	Date of Birth:
Name: Address:	Applicant <input type="checkbox"/> Affiliate <input type="checkbox"/>	Name: Address:	Applicant <input type="checkbox"/> Affiliate <input type="checkbox"/>
Home Phone: Work Phone:	Date of Birth:	Home Phone: Work Phone:	Date of Birth:

Declaration

- I declare under penalty of perjury that I have examined this application, including the accompanying schedules and statements, and to the best of my knowledge and belief it is true, correct and complete, and this application is not in violation of any security interest or other contracted obligations.
- I hereby certify that there have been no changes in officers or stockholders that have not been reported to the Alcoholic Beverage Control Board. The undersigned certifies on behalf of the organized entity, it is understood that a misrepresentation of fact is cause for rejection of this application or revocation of any license issued.
- I further certify that I have read and am familiar with Title 4 of the Alaska statutes and its regulations, and that in accordance with AS 04.11.450, no person other than the licensee(s) has any direct or indirect financial interest in the licensed business.
- I agree to provide all information required by the Alcoholic Beverage Control Board in support of this application.

Signature of Licensee(s) Signature 	Signature
Name & Title (Please Print) Navin C. Dimond, Manager	Name & Title (Please Print)
Subscribed and sworn to before me this 19th day of November, 2007	Subscribed and sworn to before me this day of
Notary Public in and for the State of Colorado 	Notary Public in and for the State of Alaska
My commission expires: 01/30/2007 New License App 11/05	My commission expires:

SHERYL A. HANEBRINK
Notary Public
State of Colorado

New Liquor License

PAGE 1 OF 2

Alcoholic Beverage Control Board
5848 E Tudor Rd
Anchorage, AK 99507

(907) 269-0350
Fax: (907) 272-9412
www.dps.state.ak.us/abc

This application is for:

- ☐ Seasonal — Two 6-month periods in each year of the biennial period beginning _____ and ending _____
Mo/Day Mo/Day
- ☐ Full 2-year period

SECTION A. LICENSE INFORMATION. Must be completed for all types of applications.			FEEs
License Year: 2008	License Type: Beverage Dispensary Tourism	Statute Reference Sec. 04.11.400d	License Fee: \$
(Office Use Only) License #:			Filing Fee: \$100.00
Local Governing Body: (City, Borough or Unorganized) Anchorage	Community Council Name(s) & Mailing Address:		Fingerprint: (\$59 per person)
Federal EIN or SSN: 68-0540537			Total Submitted: \$100.00
Name of Applicant (Corp/LLC/LP/LLP/Individual/Partnership): Denali Lodging, LLC, a Colorado limited liability company d/b/a Denali Hotel Suites, LLC	Doing Business As (Business Name): Embassy Suites: Anchorage Alaska	Business Telephone Number: 907-332-7000	
		Fax Number: 907-332-7001	
Mailing Address: 9100 E. Panorama Drive # 300	Street Address or Location of Premise: 600 East Benson Blvd Anchorage, AK 99503	Email Address: shanebrink@sbcos.com	
City, State, Zip: Englewood, CO 80112			

SECTION B. PREMISES TO BE LICENSED. Must be completed.

Closest school grounds N/A	Distance measured under: <input type="checkbox"/> AS 04.11.410 OR <input type="checkbox"/> Local ordinance No.	<input type="checkbox"/> Premises is GREATER than 50 miles from the boundaries of an incorporated city, borough, or unified municipality. <input type="checkbox"/> Premises is LESS than 50 miles from the boundaries of an incorporated city, borough, or unified municipality. <input type="checkbox"/> Not applicable
Closest church: N/A	Distance measured under: <input type="checkbox"/> AS 04.11.410 OR <input type="checkbox"/> Local ordinance No.	
Premises to be licensed is: <input type="checkbox"/> Proposed building <input type="checkbox"/> Existing facility <input type="checkbox"/> New building		<input type="checkbox"/> Plans submitted to Fire Marshall (required for new & proposed buildings) <input type="checkbox"/> Diagram of premises attached

SECTION C. Individual, corporate officer, limited liability organization member, manager or partner background.

Does any individual, corporate officer, director, limited liability organization member, manager or partner named in this application have any direct or indirect interest in any other alcoholic beverage business licensed in Alaska or any other state?

☐ Yes ☐ No If Yes, complete the following. Attach additional sheets if necessary.

Name	Name of Business	Type of License	Business Street Address	State
Please see attached sheet				

Has any individual, corporate officer, director, limited liability organization member, manager or partner named in this application been convicted of a felony, a violation of AS 04, or been convicted as a licensee or manager of licensed premises in another state of the liquor laws of that state?

☐ Yes ☐ No If Yes, attach written explanation.

Office use only

Date Approved

Director's Signature

Ownership Structure - Denali Lodging, LLC

James P. Koehler
SS# 503-54-3106
1415 North 4th Street
Aberdeen, SD 57401
605-229-0030

50%

Dimond Holdings, LLC
EIN # 84-1502061

50%

Members:

Navin C. Dimond 25%
9100 E. Panorama Drive, Suite 300
Englewood, CO 80112
303-785-3100

Rita Dimond 25%
9100 E. Panorama Drive, Suite 300
Englewood, CO 80112
303-785-3100

Sonja T. Dimond 1999 Trust 25%
Navin C. Dimond, Trustee
9100 E. Panorama Drive, Suite 300
Englewood, CO 80112
303-785-3100

Ashley S. Dimond 1999 Trust 25%
Navin C. Dimond, Trustee

9100 E. Panorama Drive, Suite 300
Englewood, CO 80112
303-785-3100

ATTACHMENT 1

Navin & Rita Dimond currently hold or has held an interest in the following liquor licensed establishments:

Stonetar Lodging, LLC
dba Courtyard by Marriott
1474 South Colorado Blvd.
Denver, CO 80222
41-87588
Orchard Lodging, LLC
dba The Hotel Denver Tech Center
7801 East Orchard Road
Greenwood Village, CO 80111
42-08023
Boyd Lake Lodging, LLC
dba Residence Inn Loveland
5450 McWhinney Blvd
Loveland, CO 80538
42-30044
Chapman Suites, LLC
dba Homewood Suites: Anaheim/Garden Grove
12005 Harbor Blvd
Garden Grove, CA 92840
70-369152
Hotel Beverage Company, LLC
dba Hilton Garden Inn: Orange County
27082 Towne Centre Drive
Lake Forest, CA 92610
68-419085
365 Lodging, LLC (Past Interest)
dba Homewood Suites
140 West Tudor Road
Anchorage, AK 99503
4354
Cherry Creek Lodging, LLC
dba Cherry Creek Hotel
600 South Colorado Blvd.
Glendale, CO 80241
42-50473

Grand Conjunction, LLC
dba Doubletree Grand Junction
743 Horizon Drive
Grand Junction, CO 81506
41-88774
Gateway RI, LLC
dba Residence Inn: Denver Airport
16490 East 40th Circle
Aurora, CO 80011
42-24656
Roanoke Lodging, LLC
dba Wyndham Roanoke Hotel
2801 Hershberger Road
Roanoke, VA 24017
40691
Garden Grove Lodging, LLC
dba Hilton Garden Inn: Anaheim/Garden Grove
11777 Harbor Blvd
Garden Grove, CA 92840
47-354470
Hotel Beverage Company, LLC
dba Hilton Garden Inn: Arcadia
199 North Second Avenue
Arcadia, CA 91006
47-420045
Borealis Lodging, LLC (Past Interest)
dba Hilton Garden Inn
100 West Tudor Road
Anchorage, AK 99503
4236

James P. Koehler currently holds an interest in the following liquor licensed establishment:

Ann Arbor Lodging, LLC
Holiday Inn
3155 Boardwalk Drive
Ann Arbor, MI 48108

Project Narrative

Denali Lodging, LLC d/b/a Denali Hotel Suites, LLC is a new 169 suite hotel, currently under construction and scheduled for completion in May of 2008. The hotel, operating as the Embassy Suites Anchorage, will offer complimentary breakfast, complimentary Evening Manager's Reception, a full service restaurant, lobby bar and banquet/meeting facilities. This upscale hotel has been designed to appeal to business and leisure market segments offering quality service associated with the Embassy Suites name. The hot breakfast is complimentary. The Evening Manager's Reception, also complimentary, consists of beer, wine mixed drinks and Hors d'œuvres. We will also feature a market concept which will serve a variety of Grab-N-Go food and beverage items. The hotel will also feature a restaurant serving lunch and dinner daily.

We anticipate the market mix for this hotel to be 45% corporate, 30% leisure and 25% social, fraternal, educational and government – 90% of which will be attracted from outside the State of Alaska. The guest profile will represent corporate and leisure travelers attending business functions and/or visiting Alaska for leisure fishing, hunting, sightseeing, etc. Our promotion and marketing efforts will incorporate direct sales and advertising to corporations, internet travel companies, associations, travel agents through trade business journals, newspapers, magazines, credit card holders, convention bureau publications and travel writers designing articles to generate and encourage increased travel to Alaska and our new hotel.



**STONEBRIDGE
COMPANIES**

December 17, 2007

Alcoholic Beverage Control Board
State of Alaska
5848 East Tudor Road
Anchorage, AK 99507

**RE: Beverage Dispensary Tourism License:
Denali Lodging, LLC d/b/a Denali Hotel Suites, LLC
Trade Name: Embassy Suites-Anchorage**

To Whom It May Concern:

Denali Lodging, LLC d/b/a Denali Hotel Suites, LLC is applying for a new liquor license under AS 04.11.400 (d). This new 169 suite hotel, currently under construction and scheduled for completion in May of 2008, will offer complimentary breakfast, complimentary Evening Manager's Reception, a full service restaurant, lobby bar and banquet/meeting facilities. This upscale hotel has been designed to appeal to business and leisure market segments offering quality service associated with the Embassy Suites name. The hot breakfast is complimentary. The Evening Manager's Reception, also complimentary, consists of beer, wine, mixed drinks and hors d'oeuvres. We will also feature a market concept which will serve a variety of Grab-N-Go food and beverage items. The hotel will also feature a restaurant serving lunch and dinner daily.

We anticipate the market mix for this hotel to be 45% corporate, 30% leisure and 25% social, fraternal, educational and government – 90% of which will be attracted from outside the State of Alaska. The guest profile will represent corporate and leisure travelers attending business functions and/or visiting Alaska for leisure fishing, hunting, sightseeing, etc. Our promotion and marketing efforts will incorporate direct sales and advertising to corporations, internet travel companies, associations, travel agents through trade business journals, newspapers, magazines, credit card holders, convention bureau publications and travel writers designing articles to generate and encourage increased travel to Alaska and our new hotel.

We feel the new liquor license requested is necessary to support the services and needs of our guests' expectations and further meet the compliance requirements for the new license issuance as stated under AS 04.11.400 (d).

Sincerely,

Navin C. Dimond
Manager, Denali Lodging, LLC d/b/a Denali Hotel Suites, LLC

STATE OF ALASKA
ALCOHOLIC BEVERAGE CONTROL BOARD

AFFIDAVIT IN CONNECTION WITH POSTING LIQUOR LICENSE APPLICATION
Section 04.11.260, 04.11.310, & AAC 104.125 Alaska Statutes, Title 4

POSTING AFFIDAVIT

I, the undersigned, being first duly sworn on oath, depose and say that:

1. a. Posting of application for a new Beverage Dispensary Tourism liquor license
for Denali Lodgings d/b/a Denali Hotel Suites, LLC d/b/a Embassy Suites Hotel
located at 600 East Benson Blvd Anchorage AK 99503
(address and/or location)

OR

- b. Posting of application for transfer of a N/A liquor license
currently issued to _____ whose business name (d/b/a)
is _____ located at _____
(address and/or location)

2. Has been completed by me for the following 10 FULL day period:

11-27-07 to 12-8-07

*** Prior to the filing of said application, a true copy of the application was posted at the following described locations: (name and address of location)

- a. Location of premises to be licensed 600 E. Benson Blvd Anchorage AK

- b. Other conspicuous location in the area USPS 3201 C Street #500 Anchorage AK 907-273-5860
907-564-2823 3721 B Street Anchorage, AK

3. I believe that with the approval of this application, population would not at one time exceed in the aggregate of one license of the type requested for population as provided by law. AS 04.11.400 (check one)

- a. ☐ a radius of five (5) miles of the proposed location.
- b. ☐ an incorporated city, organized borough or unified municipality.
- c. ☒ does not apply (application filed under AS 04.11.400(d)(e)(g) or transfer of license holder or location within an incorporated city or unified municipality or organized borough).
- d. ☐ established village.
- e. ☐ lodge license.

(signature)

SUBSCRIBED and SWORN to me this 18th day of December, 2007.

SHERYL A. HANEBRINK
Notary Public
State of Colorado

Sheryl A. Hanebrink
Notary Public in and for Alaska COLORADO
My commission expires: 6/30/2009

0755
12.35
#113405

AFFIDAVIT OF PUBLICATION

STATE OF ALASKA
THIRD JUDICIAL DISTRICT

Ryan Estrada

being first duly sworn on oath
deposes and says that he/she is
an representative of the
Anchorage Daily News, a
daily newspaper. That said
newspaper has been approved
by the Third Judicial Court,
Anchorage, Alaska, and it now
and has been published in the
English language continually as a
daily newspaper in Anchorage,
Alaska, and it is now and during
all said time was printed in an
office maintained at the aforesaid
place of publication of said
newspaper. That the annexed is
a copy of an advertisement as it
was published in regular issues
(and not in supplemental form)
of said newspaper on

November 9, 16, 23, 2007

and that such newspaper was
regularly distributed to its
subscribers during all of said
period. That the full amount of
the fee charged for the foregoing
publication is not in excess of
the rate charged private
individuals.

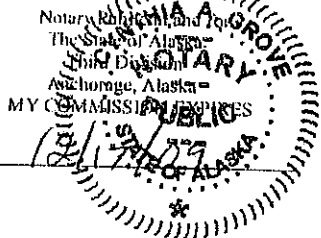
Signed

Subscribed and sworn to before

Me this 13 day of Dec

2007

Cynthia A. Grove



FORECLOSURE SALE
November 27, 2007 at 10:00 A.M.
Nesbett Memorial Courthouse • 825 W. 4th Avenue, Anchorage, AK
Multi-Family
Property Address: 1023 W. 26th Ave., Anchorage, AK 99503
Assessed Value: \$934,300.00 • Minimum Bid: \$836,650.35
"PROPERTY SOLD AS IS, WHERE IS."

**GET BACK
THE YOUNGER,
TIGHTER SKIN YOU
USED TO HAVE**

[illegible]

St. Anthony Dining Room, carries turkeys
a Thursday in San Francisco.

NATION

Feds' cell tracking raises privacy

SURVEILLANCE: Some judges don't require agents

practice may expose average Americans to a new level of government 911 (E911) location tracking. Sprint Nextel, for instance, boasts that its quest by a Drug Enforcement Administration agent


 gifts every
 Saturday.
ANTIQUE
 Market
 1233 E. 76th
 349-7078

254-860-0150
3838 OLD SEWARD HIGHWAY • 563-8600

LIQUOR LICENSE

Denali Hotel Suites, LLC is applying for a new Beverage Dispensary Tourism AS 04.11.400(d) Liquor License doing business as Embassy Suites Anchorage located at 600 East Benson Blvd, Anchorage, AK 99503.

**** Interested persons should submit written comment to their local governing body, the applicant and to the Alcoholic Beverage Control Board at 5848 E. Tudor Road, Anchorage, AK 99507.**

FORECLOSURE SALE

December 18, 2007 at 10:00 A.M.
Nesbitt Memorial Courthouse
825 W. 4th Avenue • Anchorage, Alaska
Apartment Buildings (7 eight p. - unfinished)
Property Address: 1911 W. 4th Ave.
Anchorage, Alaska
Minimum Bid: \$2,780,000

"PROPERTY SOLD AS IS. WHERE IS."
For additional information, please visit:
www.fnbalaska.com/property/sales
Refer to web ad #217 or call 907-261-3384.
Sale date and bid amount are subject to change.

Just In!
SAVE
30%
THIS WEEK
OFF OUR NEW COLLEC
OF HAND PLANEI
SOLID CHERRY DINI

Where Furniture
FURNITURE
433 West Fifth

Maximum Occupancies & Seating Information
Embassy Suites Hotel

Maximum Occupancies:

- Complimentary: 166
- Lounge Bar: 131
- Marketplace: 41
- Boardroom: 29
- Breakout Room 1: 29
- Breakout Room 2: 24
- Meeting Room 1: 52
- Meeting Room 2: 52
- Meeting Room 3: 52

Seating:

- Complimentary: 102
- Lounge Bar: 33
- Marketplace: 16
- Boardroom: 14
- Breakout Room 1: 28
- Breakout Room 2: 28
- Meeting Room 1: 52
- Meeting Room 2: 52
- Meeting Room 3: 52



Homewood Suites
122 units - 4 story
Anchorage, AK

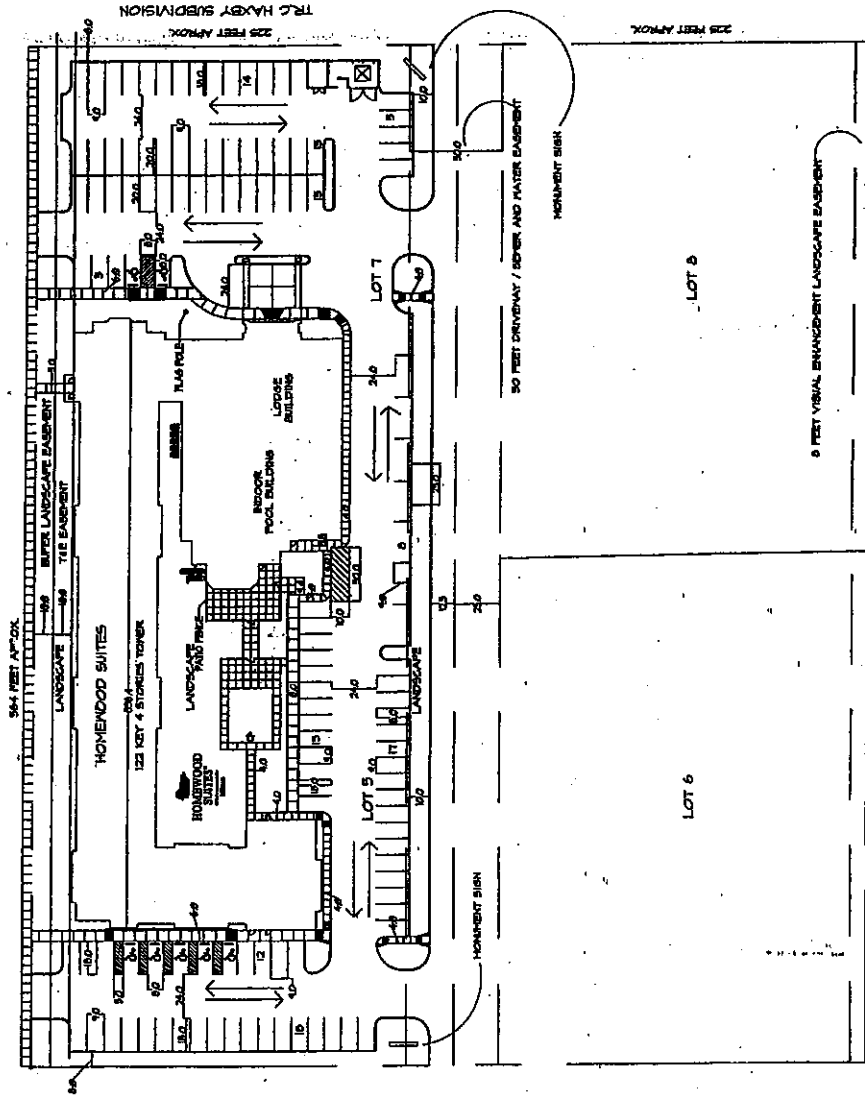
HILTON
HOMERWOOD
SUITES

NO.	DATE	REVISION
1	11/15/11	REVISED PER COMMENTS
2	11/15/11	REVISED PER COMMENTS
3	11/15/11	REVISED PER COMMENTS
4	11/15/11	REVISED PER COMMENTS
5	11/15/11	REVISED PER COMMENTS
6	11/15/11	REVISED PER COMMENTS
7	11/15/11	REVISED PER COMMENTS
8	11/15/11	REVISED PER COMMENTS
9	11/15/11	REVISED PER COMMENTS
10	11/15/11	REVISED PER COMMENTS
11	11/15/11	REVISED PER COMMENTS
12	11/15/11	REVISED PER COMMENTS
13	11/15/11	REVISED PER COMMENTS
14	11/15/11	REVISED PER COMMENTS
15	11/15/11	REVISED PER COMMENTS
16	11/15/11	REVISED PER COMMENTS
17	11/15/11	REVISED PER COMMENTS
18	11/15/11	REVISED PER COMMENTS
19	11/15/11	REVISED PER COMMENTS
20	11/15/11	REVISED PER COMMENTS

DATE: 11/15/11
SHEET NO. 1
SITE PLAN
SCALE: 1/8" = 1'-0"

A1.0

A STREET



PARKING = 122
ZONED: T-1

C STREET

N
SITE PLAN
SCALE: 1/8" = 1'-0"

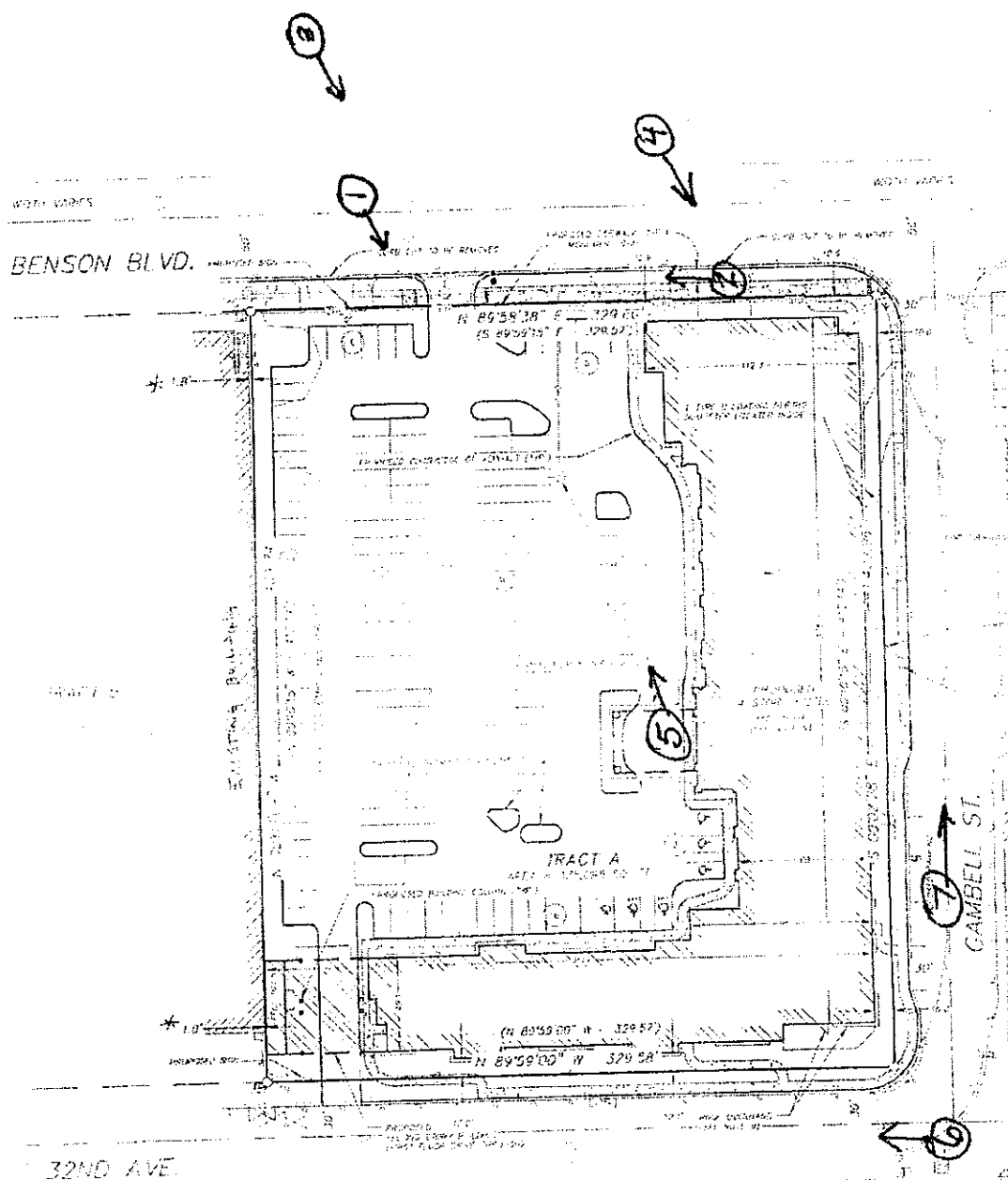
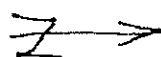


PHOTO LAYOUT REFERENCE
DEMALI LOGGING, LLC - EMBASSY SUITES



PARKING CALCULATIONS

PERMITTED USE	FOR
EXIST'G VEHICLES	

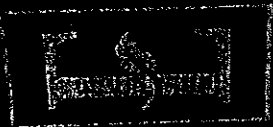
042

Builder

Ironwood

General Contractor

561-0642



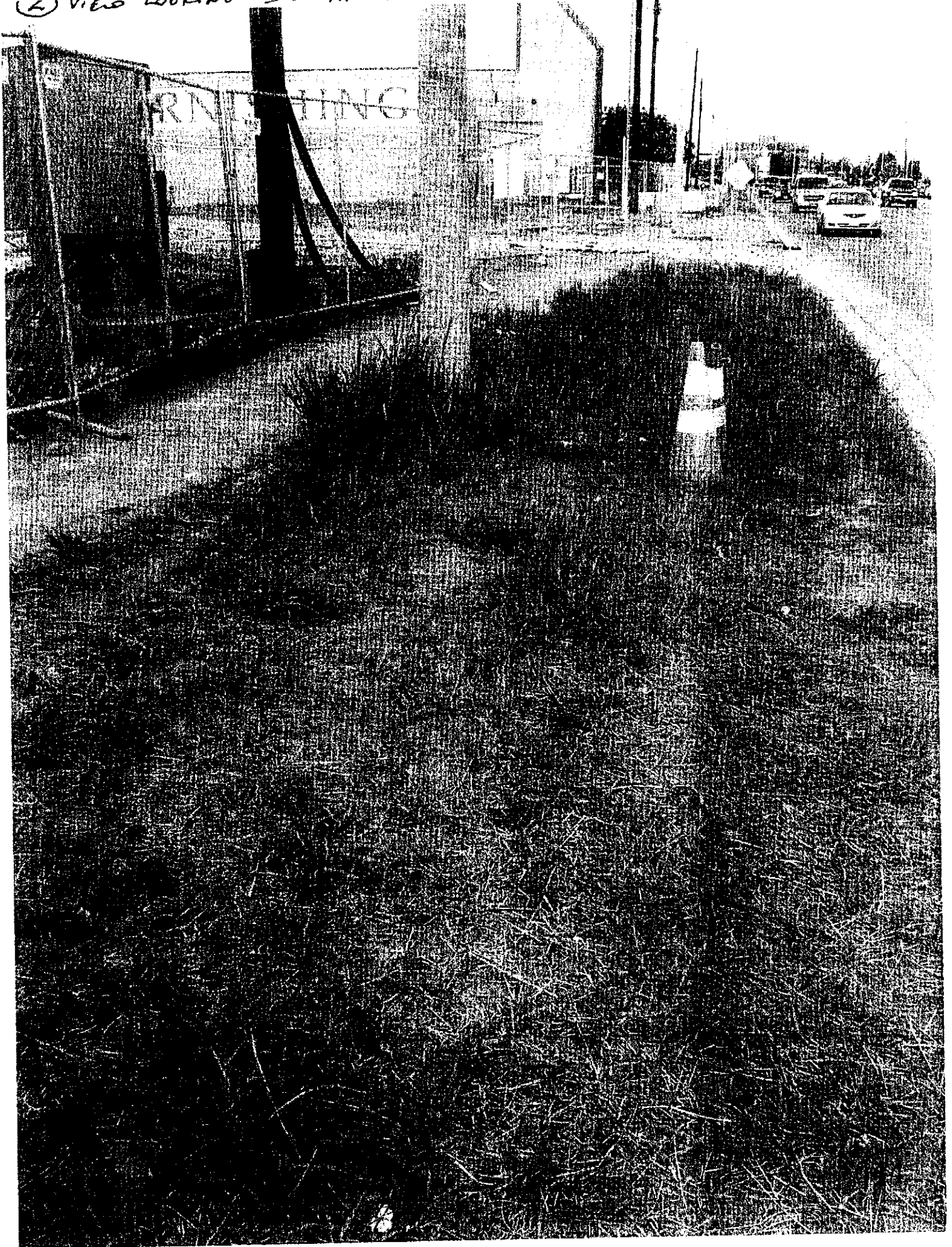
Embassy
Suites
Resort & Casino
Las Vegas

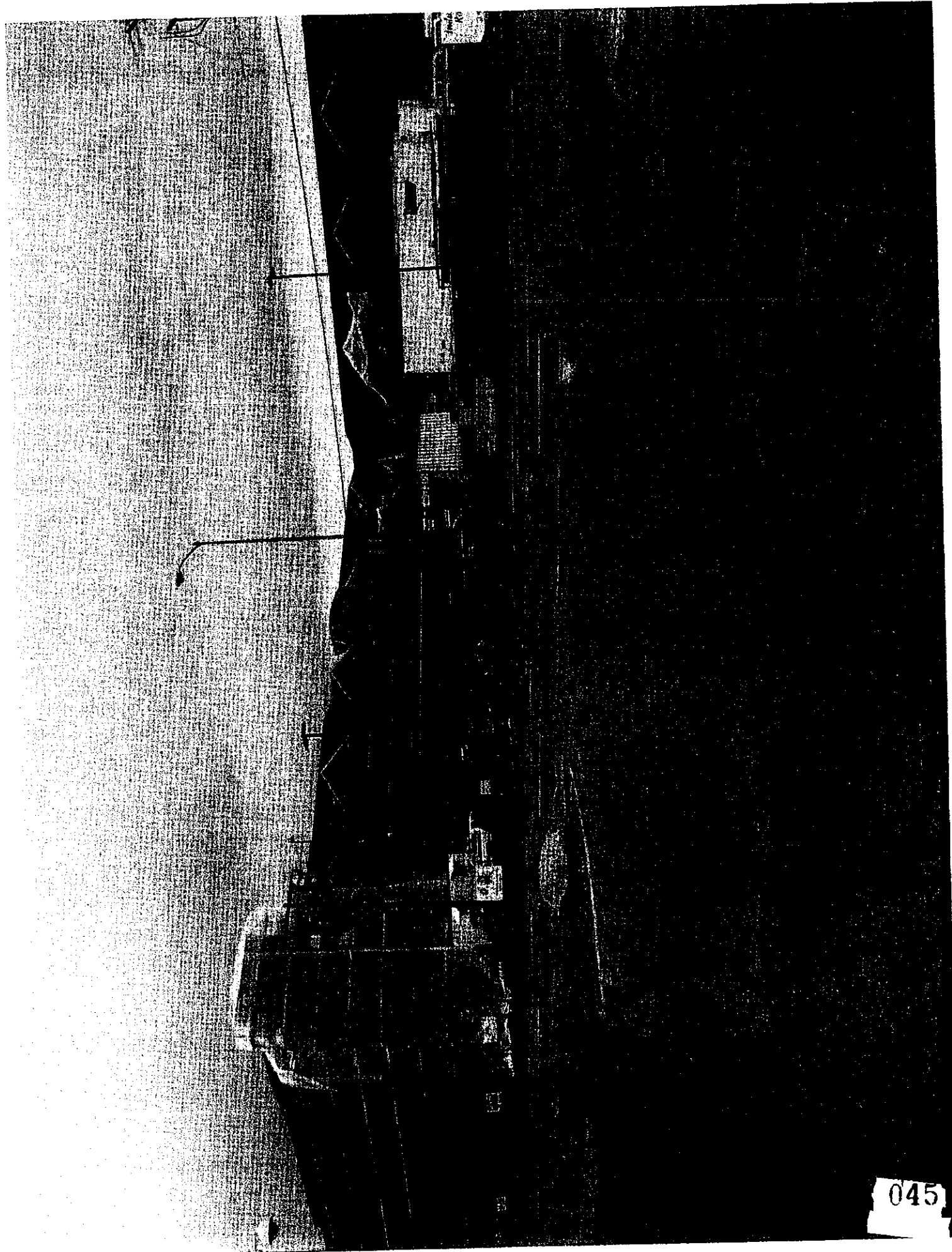
EMBASSY SUITES

Opening Spring 08
For Reservations Call: 1-800-EMBASSY

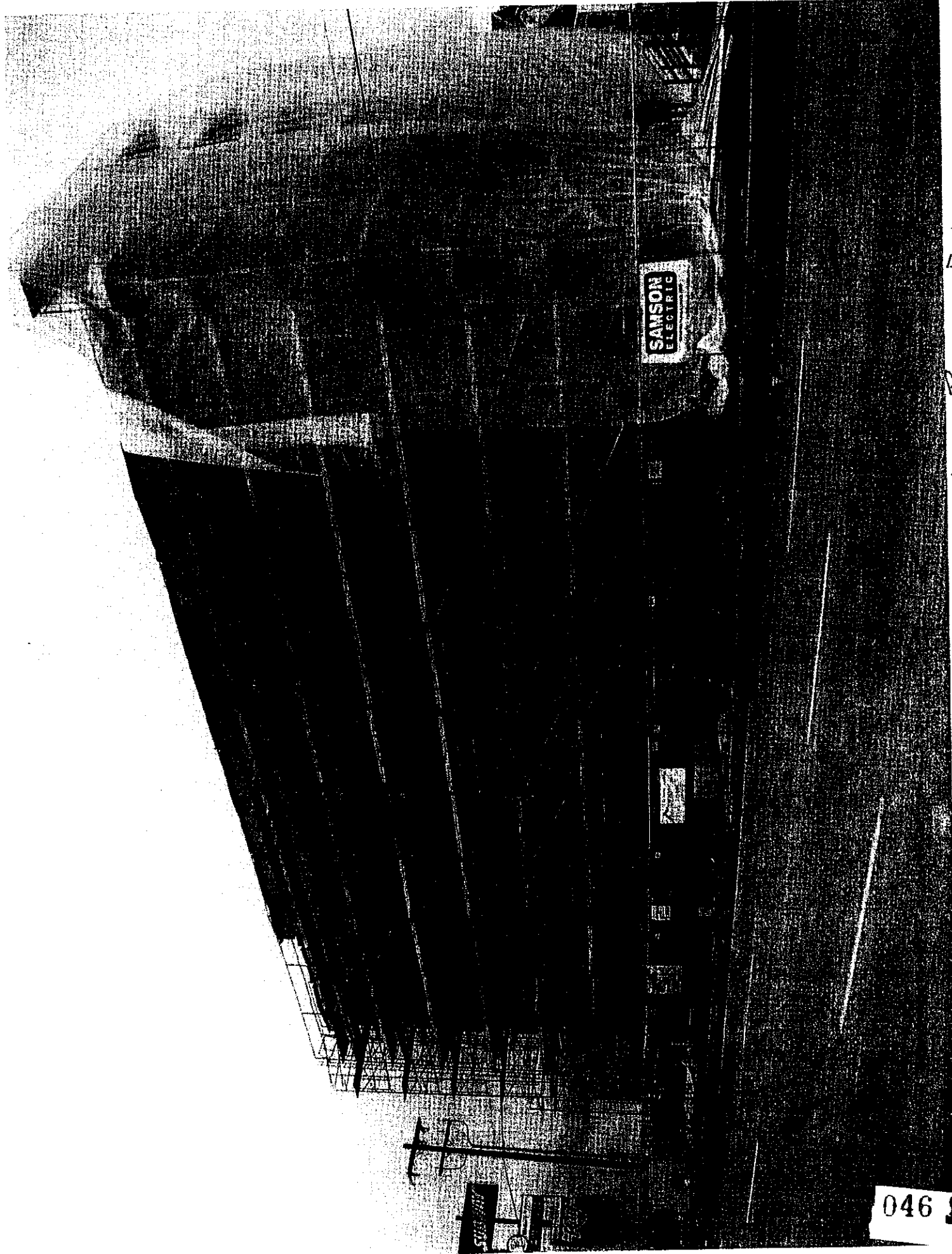
043

(4) VIEW LOOKING SOUTH FROM THE WEST SIDE OF THE INTERSECTION

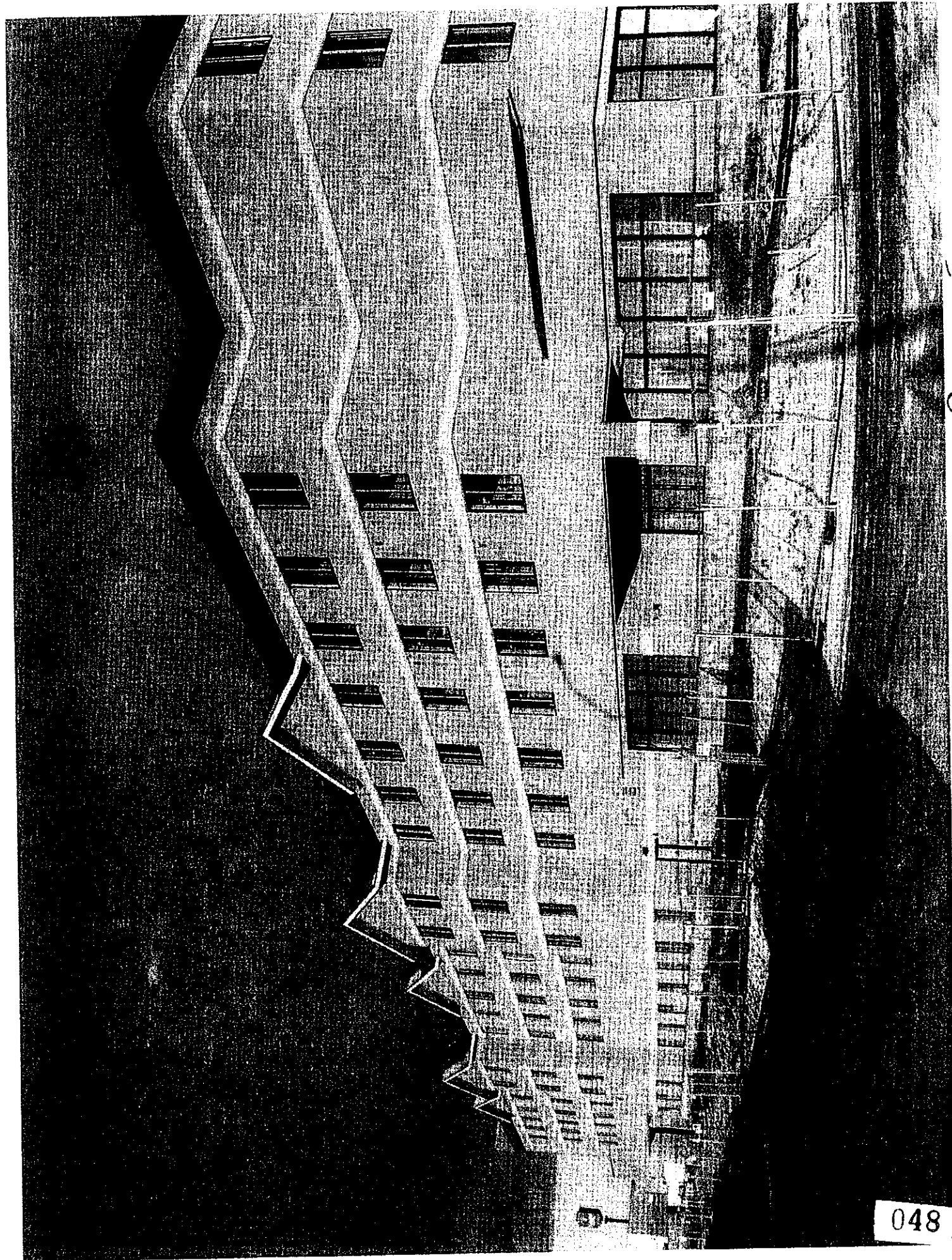


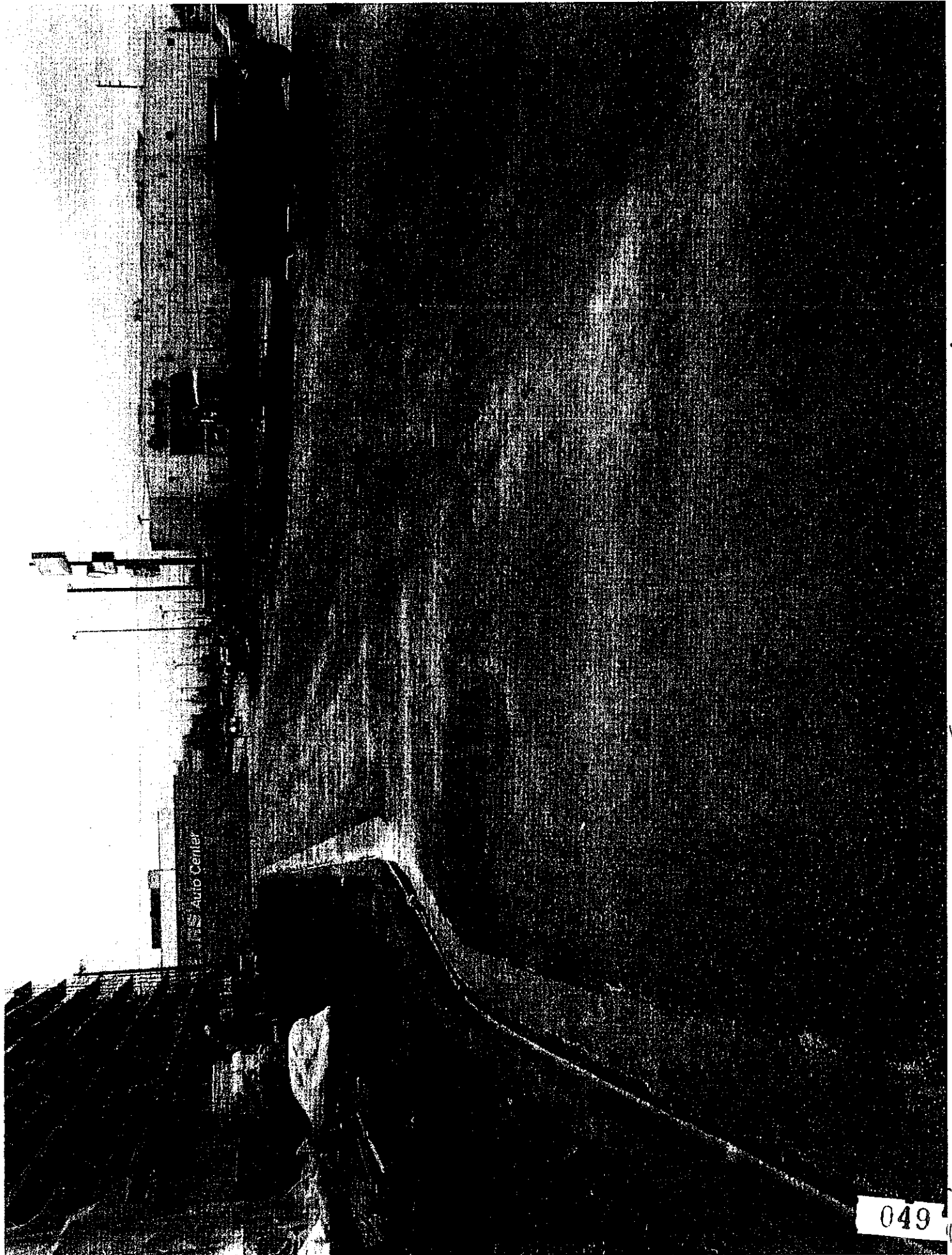


045



046





049



Property Appraisal

Municipality of Anchorage, Alaska

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Public Inquiry Parcel Details

[Show Parcel on Map](#)

PARCEL: 009-043-36-000 01/01 Commercial Hotel/Motel High R 12/31/07

DENALI LODGING LLC

HIGH LINE #1
TR A

9100 E Panorama Drive #300
Englewood CO 80112

Site 600 E Benson Blvd

Lot Size: 134,989	---Date Changed---	----Deed Changed----
Zone : B3	Owner : 05/19/03	Stateid: 2003 0042675
Tax Dist: 003	Address: 05/19/03	Date : 05/05/03
Grid : SW1631	Hra # :	Plat : 700296
GRW: PIWC		REF #:

ASSESSMENT HISTORY

	---Land--	--Building--	---Total---	
Appraised Val 2005:	1,822,300	0	1,822,300	
Appraised Val 2006:	1,822,300	0	1,822,300	--Exemption---
Appraised Val 2007:	2,126,100	785,300	2,911,400	-----Type-----
Exempt Value 2007:	0	0	0	
State Credit 2007:			0	
Resid Credit 2007:			0	
Taxable Value 2007:			2,911,400	

Liv Units: 000 Common Area: Leasehold: Insp Dt: 12/04 Land Only
11/90 Exterior
10/07 Desk Edit

BUILDING DATA

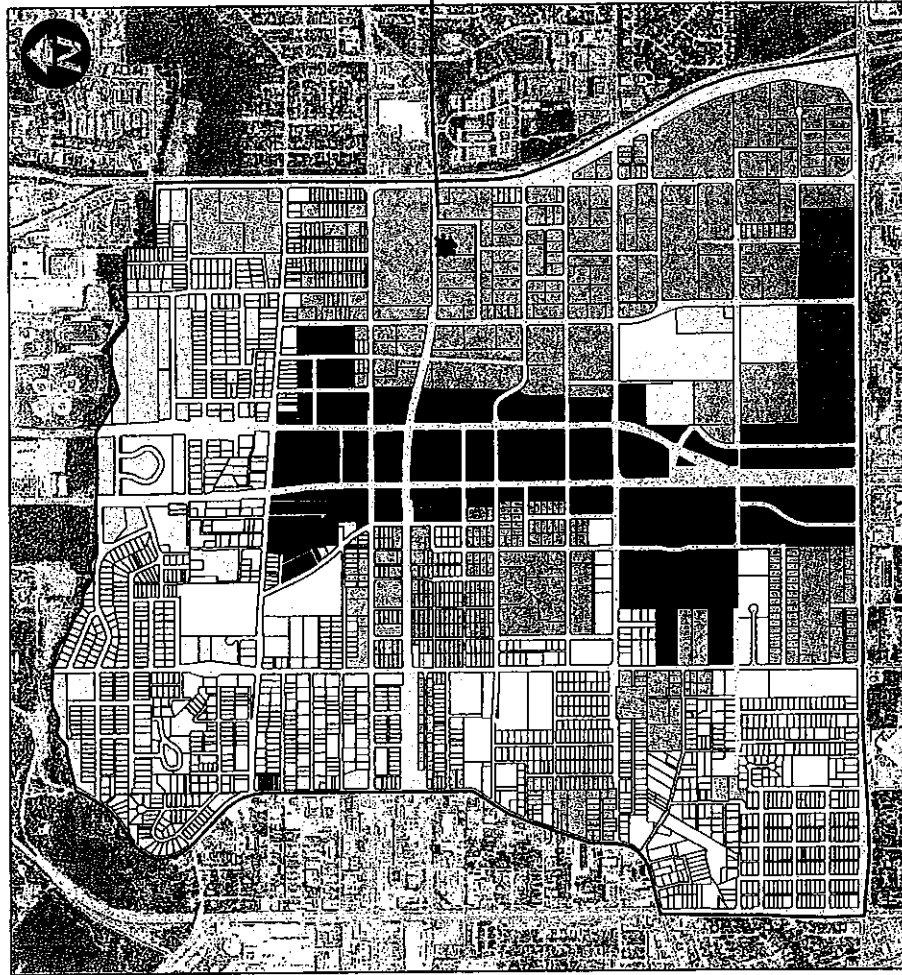
Name: EMBASSY SUITES HOTEL Bldg Area: 143,389 Eff Yr: 2007 Ident
Bldg Use : Hotel/Motel High Ris Grade : Good Plus # Units: 179 Units: 1

INTERIOR FEATURES

Floor Level	Size Area:	Use Type:	Wall Hgt :	Wall Material:	Constrct Type:	Heat Type:	Air Phys Con Cond:	Funct Utilt
C1/C1	8,433	Crawl Spac	04	None	Wood Joist(	None	0 Normal	Normal
01/01	40,278	Hotel	09	Stucco	Wood Joist(	Hot Water	0 Normal	Normal
02/02	34,350	Hotel	09	Stucco	Wood Joist(	Hot Water	0 Normal	Normal
03/03	34,387	Hotel	09	Stucco	Wood Joist(	Hot Water	0 Normal	Normal

050

Land Use Designations



Land Use Designations

Land Use Policy Areas

- Maintain Existing Neighborhood
- Residential - Low/Medium Intensity
- Residential - Medium Intensity
- Residential - City Center Intensity

- Residential Redevelopment
- Mixed Use - Low Intensity
- Mixed Use - Medium Intensity
- Mixed Use - Medium/High Intensity
- Mixed Use - High Intensity

- Commercial Corridor
- Spennard Entertainment Area
- Institutional
- Park
- Right of Way

Existing Trends, Projected Future



HDR Alaska Inc. Agnew :: Beck
HDR | Town Planning • LDN •

Anchorage Midtown District Plan
Charrette Sketchbook March 2007

Land Use Area Descriptions

Maintain Existing Neighborhood

- No change in density or character of the existing residential neighborhood.

Residential – low-moderate intensity

- Residential neighborhood retains its low to moderate density character but added emphasis on rehabilitation of existing structures and public improvements.

Residential – Medium Density

- Multi-family complexes and attached townhouses. New development provides design amenities such as private open space and recreation areas. Between 2 to 4 stories in height.

Residential – City Center Intensity

- Highest density residential district. Multi-family complexes. Limited commercial space is allowed within high density residential development. Development characterized by structured parking, orientation to sidewalks and connections to nearby activity centers.

Residential redevelopment

- Predominately multi-family residential in character with up to 50% commercial development allowed. Mixed uses can be either horizontal or vertical in nature. Up to 3 stories in height.

Mixed-Use Low

- Main street style mixed use development with orientation of entrances to the street with parking either to the side or rear. 2-3 stories in height.

Mixed-Use Medium

- Mixed use office, retail, and residential zone. Area north of 34th Ave. has more of a commercial emphasis while area south of 34th Ave. has more of a residential emphasis. Up to 4 stories in height.

Mixed-Use Medium/High

- Part of employment core that surrounds and connects areas of higher employment density. Primarily office with supporting retail. Up to 6 stories in height.

Mixed-Use High

- Area of the employment core with the highest employment densities. Compactness of the area is encouraged through development of parking structures. Primarily office with supporting retail. Up to 15 stories in height.

Commercial Corridor

- Automobile dependent corridor characterized by low rise, single use retail buildings or strip malls on individual sites.

Spennard Entertainment Area

- City-wide entertainment destination. Emphasis on interesting, well-lit streetscape to encourage walk trips between businesses within the district.

Institutional

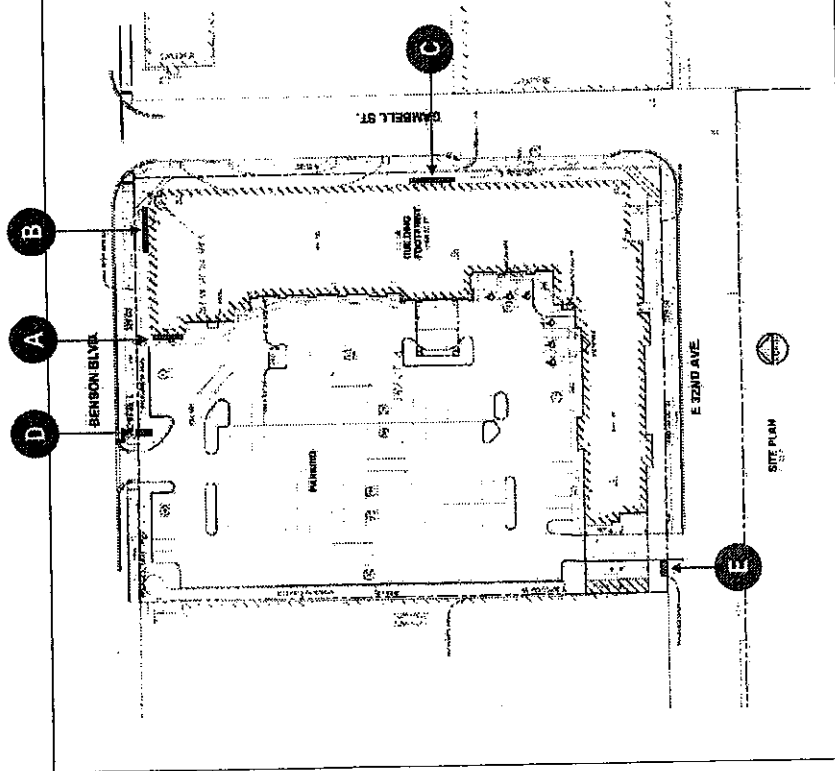
- Public facilities that can either serve the adjacent neighborhood or a wider area of the community. Includes schools and libraries.

Park

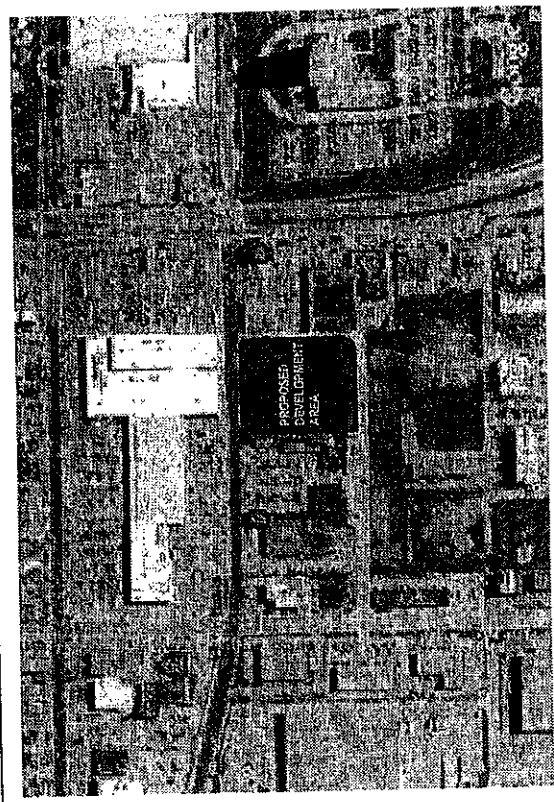
- Includes neighborhood as well as community parks. Character and design of parks differs depending on function and context.

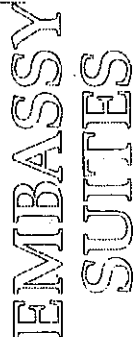
Right-of-way

- Includes all local, collector, and arterial streets within the Midtown District

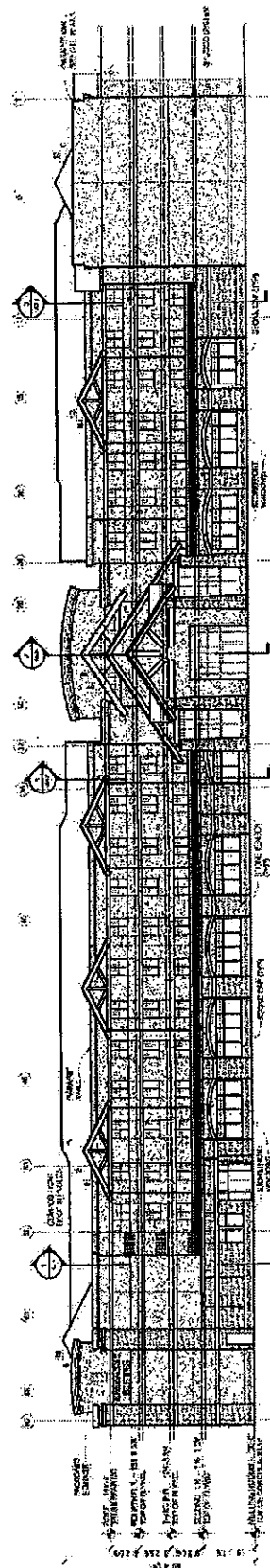
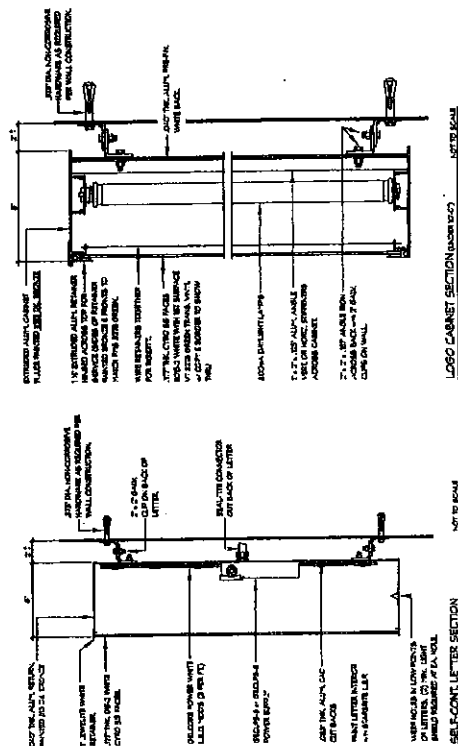



 SITE OVERVIEW
 NTS

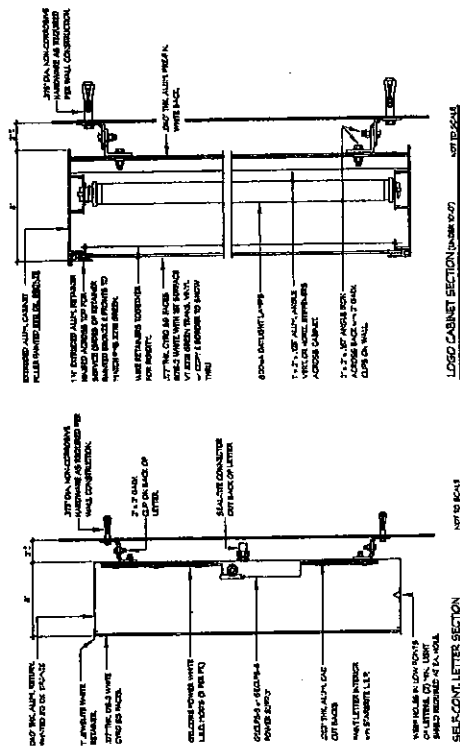


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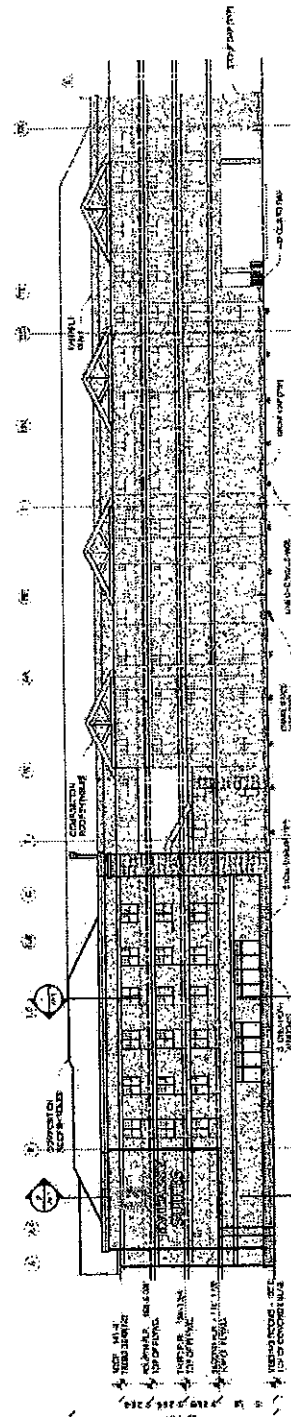
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C



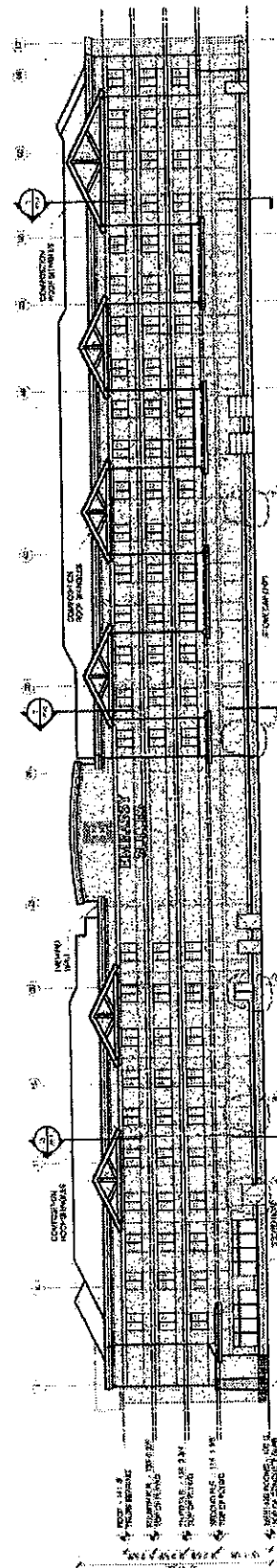
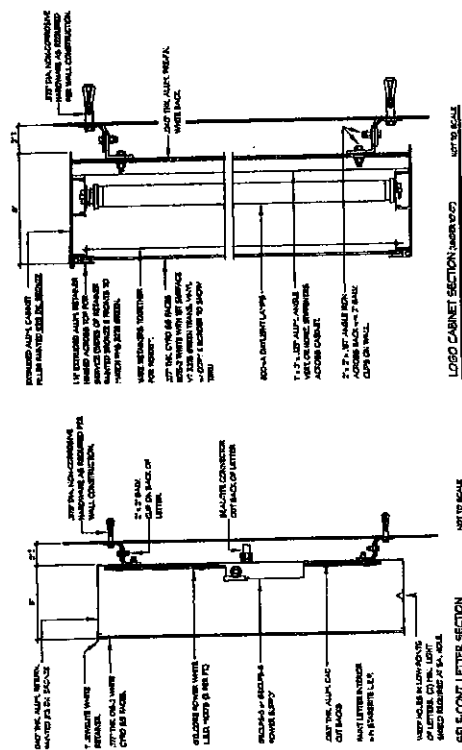
B 36" CHANNEL LETTERS W/ LOGO - STACKED LAYOUT NTS



NORTH ELEVATION



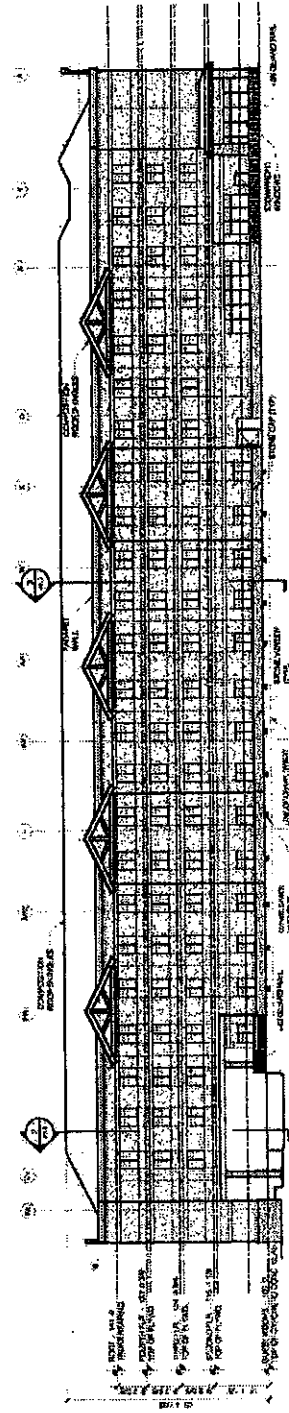
C 36" CHANNEL LETTERS W/ LOGO - STACKED LAYOUT NTS



EAST ELEVATION

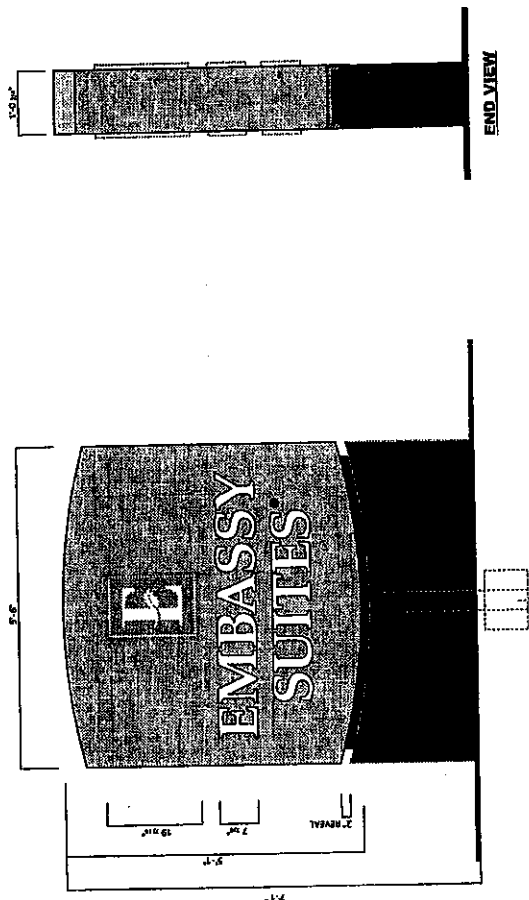
SCALE: 1/32" = 1'-0"

NO ACTION REQUIRED AT THIS ELEVATION



SOUTH ELEVATION

SCALE: 1/32" = 1'-0"



(ES M-30) D/F MONUMENT SIGN

SCALE: 1/2" = 1'-0"

GENERAL SPECIFICATIONS

FABRICATE AND INSTALL (1) D/F ALUM CABINET W/ MACHINE ROUTED LOGO & LETTER OPENINGS PAINT FACE & FILLERS TO MATCH MATTHEWS BRILLIANT METALLIC GOLD #6-400 (VOC 285-400) W/ SATIN GLOSS TOP COAT 42-228 (42-228)

PAINT INSIDE OF LIGHTED CABINET W/ LIGHT ENHANCING WHITE LOGO DETAILS - 1/2" THICK 7328 WHITE PLASTIC RECTANGLE PUSHED THRU ROUTED OPENING W/ 3M #9530-6530 GREEN VINYL COMPUTER CUT OUT REVERSE WEEDED DETAILS APPLIED TO 1/4" SURFACE

ROUTED COPY - 1/2" THICK WHITE PLASTIC POCKET ROUTED AND PUSHED THRU ROUTED OPENINGS

NOTE: ROUTED COPY TO BE OUTLINED WITH 1/4" SURFACE 350-49 DARK BRONZE VINYL APPLIED TO GOLD BACKGROUND SIGN FACES INTERNALLY ILLUMINATED W/ 800MA H-OUTPUT FLUORESCENT DAYLIGHT LAMPS

3M 350-49 BRONZE VINYL @ MARK / NON-ILLUM.

2" WIDE x 2" DEEP RECESS REVEAL BETWEEN BASE & CABINET 313 DARK BRONZE SATIN FINISH

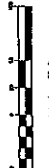
FABRICATED ALUMINUM SUPPORT COVER PAINTED #313 DK BRONZE WITH FINE TEXTURED FINISH (SEE SAMPLE)

4" DIA. x 28" WALL STEEL PIPE SUPPORT 12" DIA. x 3'-0" DEEP CONCRETE PIER FOUNDATION FOUNDATION SET 2' BELOW GRADE.

SUPPORTS DESIGNED FOR 30PSF WIND LOAD

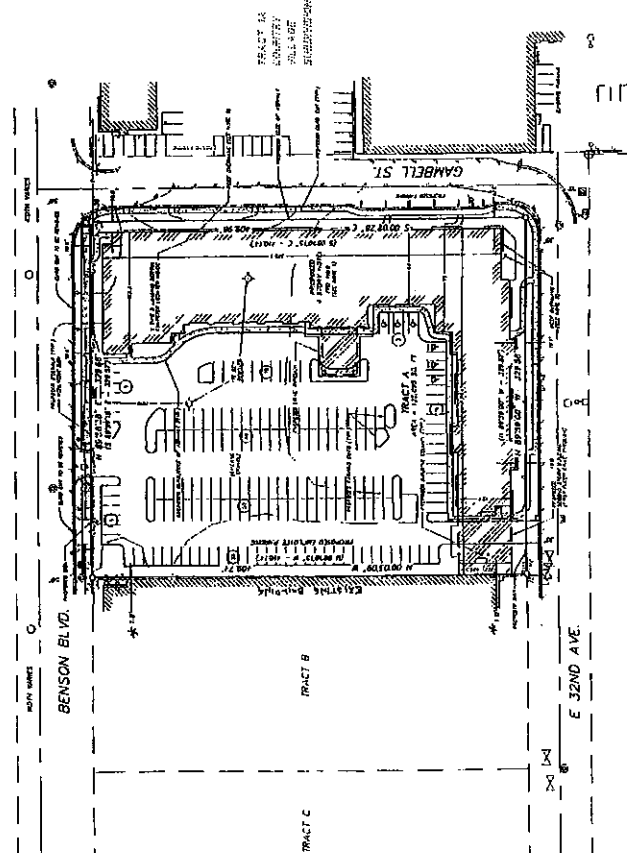
UNDERGROUND ELECTRICAL SERVICES TO SIGN BY CUSTOMER'S ELECTRICIAN. SIGN CONTRACTOR TO MAKE FINAL CONNECTION

AS DETERMINED BY LOCAL SIGN ORDINANCES.



NOTES

1. NO SHALLOW UTILITIES WERE MARKED AT THE TIME OF THIS SURVEY. ALL UTILITIES SHOWN ARE EXISTING UNLESS NOTED OTHERWISE.
2. EXISTING UTILITIES SHOWN ARE BASED ON A 10' DEPTH OF BURIAL.
3. ALL UTILITIES SHOWN ARE BASED ON A 10' DEPTH OF BURIAL.
4. ALL UTILITIES SHOWN ARE BASED ON A 10' DEPTH OF BURIAL.
5. ALL UTILITIES SHOWN ARE BASED ON A 10' DEPTH OF BURIAL.
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9. ALL UTILITIES SHOWN ARE BASED ON A 10' DEPTH OF BURIAL.
10. ALL UTILITIES SHOWN ARE BASED ON A 10' DEPTH OF BURIAL.



PARKING CALCULATIONS

BUILDING USE	STORIES	AREA	REQUIRED	PROVIDED
OFFICE	1	10,000	180	170
STREET PARKING			1	1
TOTAL			181	171

LANDSCAPE AREA CALCULATIONS

TOTAL PARKING AREA = 60,000 SQUARE FEET
TOTAL INTERIOR LANDSCAPE SPACE = 1,000 SQUARE FEET ON SITE

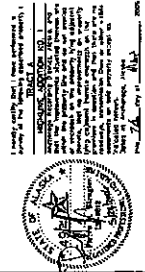
EXISTING FEATURES LEGEND

- 1. EXISTING BUILDING
- 2. EXISTING DRIVE
- 3. EXISTING DRIVE
- 4. EXISTING DRIVE
- 5. EXISTING DRIVE
- 6. EXISTING DRIVE
- 7. EXISTING DRIVE
- 8. EXISTING DRIVE
- 9. EXISTING DRIVE
- 10. EXISTING DRIVE

PROPOSED FEATURES LEGEND

- 1. PROPOSED BUILDING
- 2. PROPOSED DRIVE
- 3. PROPOSED DRIVE
- 4. PROPOSED DRIVE
- 5. PROPOSED DRIVE
- 6. PROPOSED DRIVE
- 7. PROPOSED DRIVE
- 8. PROPOSED DRIVE
- 9. PROPOSED DRIVE
- 10. PROPOSED DRIVE

PROPOSED CONSTRUCTION PLAN



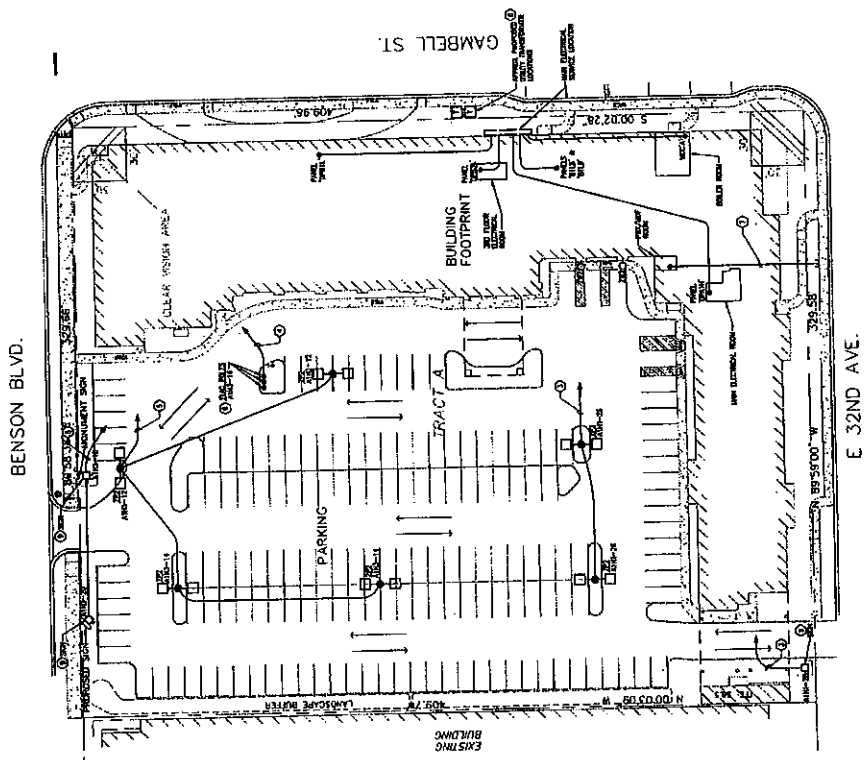
LOUNSBURY & ASSOCIATES, INC.
SURVEYORS-ENGINEERS-PLANNERS
10000 E. 32ND AVE., SUITE 100
ANN ARBOR, MI 48106
TEL: (313) 777-3400 FAX: (313) 777-3401
DATE: 23 JAN 2008 SCALE: 1"=50'
DRAWN: JMS
CHECKED: DB
DESIGNED: DB
SHEET 1 OF 1

SIGNS AND MARKINGS



VERT. SCALE: 1"=4'

062



SITE LIGHTING ANALYSIS									
EXISTING LIGHT	NEW LIGHT	EXISTING LIGHT	NEW LIGHT	EXISTING LIGHT	NEW LIGHT	EXISTING LIGHT	NEW LIGHT	EXISTING LIGHT	NEW LIGHT
1. 100' WIDE	1. 100' WIDE	1. 100' WIDE	1. 100' WIDE	1. 100' WIDE	1. 100' WIDE	1. 100' WIDE	1. 100' WIDE	1. 100' WIDE	1. 100' WIDE
2. 100' WIDE	2. 100' WIDE	2. 100' WIDE	2. 100' WIDE	2. 100' WIDE	2. 100' WIDE	2. 100' WIDE	2. 100' WIDE	2. 100' WIDE	2. 100' WIDE
3. 100' WIDE	3. 100' WIDE	3. 100' WIDE	3. 100' WIDE	3. 100' WIDE	3. 100' WIDE	3. 100' WIDE	3. 100' WIDE	3. 100' WIDE	3. 100' WIDE
4. 100' WIDE	4. 100' WIDE	4. 100' WIDE	4. 100' WIDE	4. 100' WIDE	4. 100' WIDE	4. 100' WIDE	4. 100' WIDE	4. 100' WIDE	4. 100' WIDE
5. 100' WIDE	5. 100' WIDE	5. 100' WIDE	5. 100' WIDE	5. 100' WIDE	5. 100' WIDE	5. 100' WIDE	5. 100' WIDE	5. 100' WIDE	5. 100' WIDE
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8. 100' WIDE	8. 100' WIDE	8. 100' WIDE	8. 100' WIDE	8. 100' WIDE	8. 100' WIDE	8. 100' WIDE	8. 100' WIDE	8. 100' WIDE	8. 100' WIDE
9. 100' WIDE	9. 100' WIDE	9. 100' WIDE	9. 100' WIDE	9. 100' WIDE	9. 100' WIDE	9. 100' WIDE	9. 100' WIDE	9. 100' WIDE	9. 100' WIDE
10. 100' WIDE	10. 100' WIDE	10. 100' WIDE	10. 100' WIDE	10. 100' WIDE	10. 100' WIDE	10. 100' WIDE	10. 100' WIDE	10. 100' WIDE	10. 100' WIDE

- SHEET NOTES**
1. REFER TO LUMINAIR PLANS FOR DIMENSIONS AND LUMINAIR SPECIFICATIONS.
 2. SEE NOTES FOR TYPICAL LUMINAIR CONNECTIONS.
 3. 100' WIDE (100' WIDE) AND 100' WIDE (100' WIDE) TO LUMINAIR CONNECTIONS.
 4. 100' WIDE (100' WIDE) AND 100' WIDE (100' WIDE) TO LUMINAIR CONNECTIONS.
 5. 100' WIDE (100' WIDE) AND 100' WIDE (100' WIDE) TO LUMINAIR CONNECTIONS.
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 9. 100' WIDE (100' WIDE) AND 100' WIDE (100' WIDE) TO LUMINAIR CONNECTIONS.
 10. 100' WIDE (100' WIDE) AND 100' WIDE (100' WIDE) TO LUMINAIR CONNECTIONS.

SIC ENGINEERS
1250 OTIS BLVD., STE 200
DENALI LODGING, LLC
ANCHORAGE, ALASKA, 99503

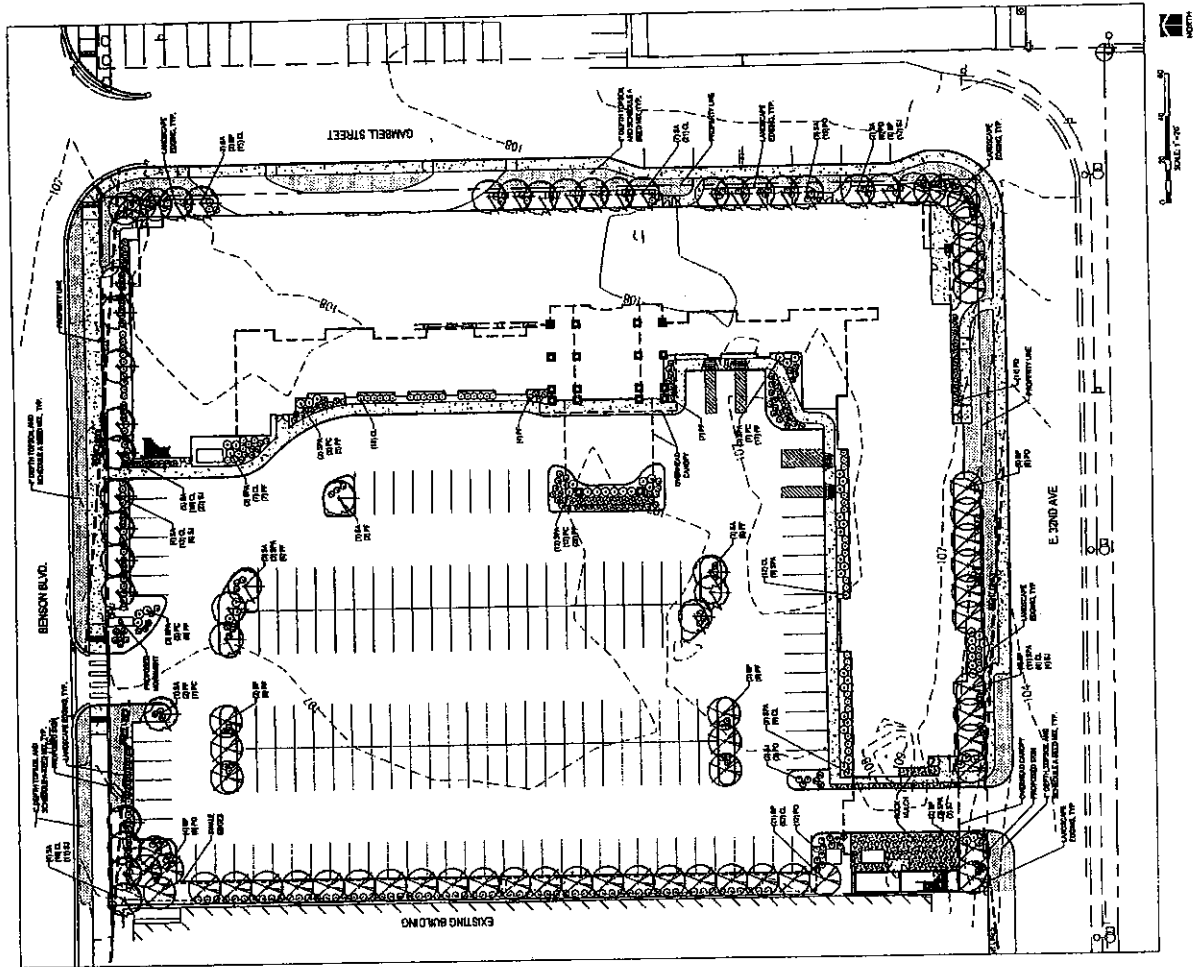
EMBASSY SUITES
600 EAST BENSON ROAD
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC

PROJECT INFORMATION

DATE	10/1/10
BY	J. S. S. S.
CHECKED	J. S. S. S.
APPROVED	J. S. S. S.

ELECTRICAL SITE PLAN

E1.1

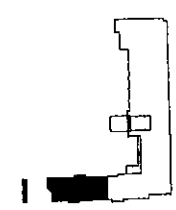


PLANTING SCHEDULE

ITEM	SYMBOL	PLANT	SIZE	QUANTITY	NOTES
1	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
2	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
3	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
4	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
5	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
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16	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
17	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
18	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
19	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
20	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
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23	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
24	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
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63	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
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99	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING
100	(Symbol)	SPRING BLOSSOM	12" H	100	PLANTING

[illegible]

FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"
CLASH-GROSS SQ. FT. 1,007.00
FOOTING

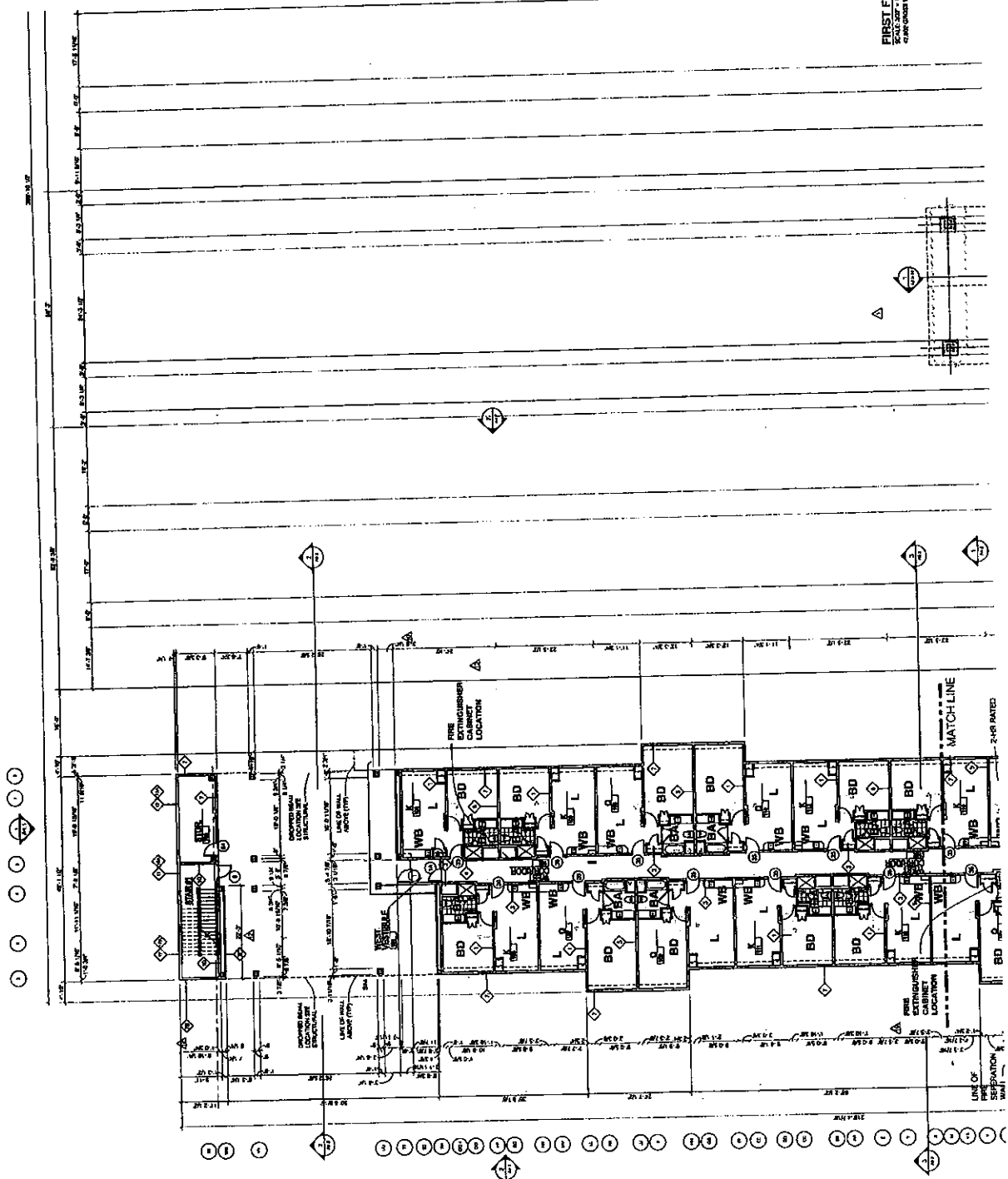


CONTRACT NO. W-60-02-0-M-0001

- [illegible]

150215Z

- PE WALL MOUNTED FIBER OPTIC PATCH
CABLE



- 066

FIRST FLOOR PLAN
FOR EMBASSY SUITES
ANCHORAGE, ALASKA

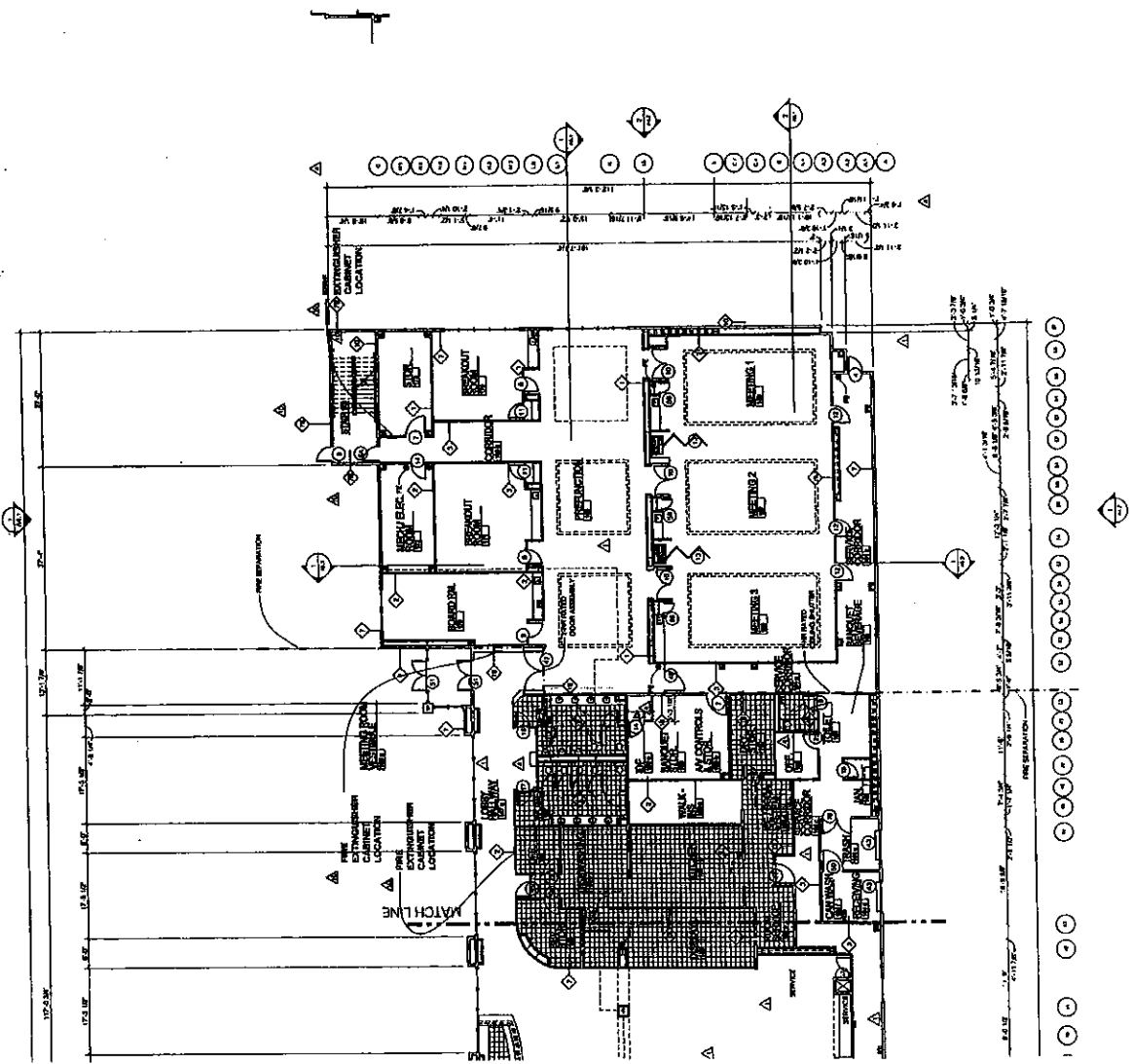
FOR EMBASSY SUITES
ANCHORAGE, ALASKA
DESIGNED BY
SEVEN



PROJECT NUMBER		ANCHORAGE, ALASKA
PROJECT NAME		EMBASSY SUITES, DESIGN OPTION 3
PROJECT LOCATION		600 EAST BENSON ROAD, ANCHORAGE, ALASKA 99503
PROJECT DATE		1998
PROJECT SCALE		1/8" = 1'-0"
PROJECT DRAWN BY		SEVEN
PROJECT CHECKED BY		SEVEN
PROJECT APPROVED BY		SEVEN
PROJECT REVISIONS		
NO.	DATE	DESCRIPTION
1	1998	INITIAL DESIGN
2	1998	REVISED DESIGN
3	1998	REVISED DESIGN
4	1998	REVISED DESIGN
5	1998	REVISED DESIGN
6	1998	REVISED DESIGN
7	1998	REVISED DESIGN
8	1998	REVISED DESIGN
9	1998	REVISED DESIGN
10	1998	REVISED DESIGN
11	1998	REVISED DESIGN
12	1998	REVISED DESIGN
13	1998	REVISED DESIGN
14	1998	REVISED DESIGN
15	1998	REVISED DESIGN
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19	1998	REVISED DESIGN
20	1998	REVISED DESIGN

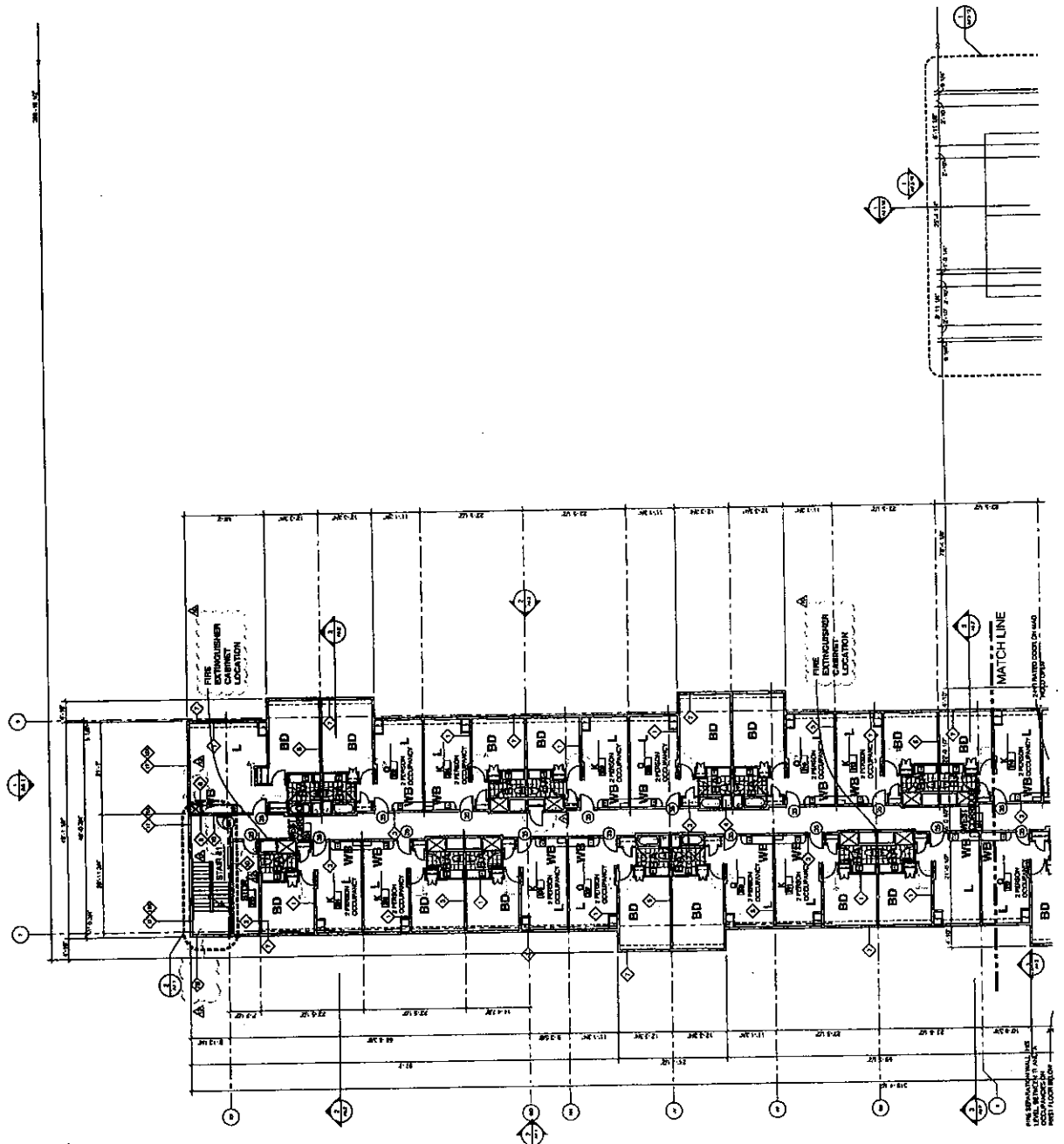
ANCHORAGE, ALASKA
EMBASSY SUITES, DESIGN OPTION 3
600 EAST BENSON ROAD, ANCHORAGE, ALASKA 99503
DESIGNED BY
SEVEN

EMBASSY SUITES, DESIGN OPTION 3
600 EAST BENSON ROAD
ANCHORAGE, ALASKA, 99503



- GENERAL CONSTRUCTION NOTES:
1. All dimensions are in feet and inches, unless otherwise noted.
 2. All materials and finishes shall be as specified in the schedule of materials.
 3. All work shall be in accordance with the latest editions of the Building Code of the City of Anchorage, Alaska.
 4. All work shall be in accordance with the latest editions of the International Building Code.
 5. All work shall be in accordance with the latest editions of the International Mechanical Code.
 6. All work shall be in accordance with the latest editions of the International Fire Code.
 7. All work shall be in accordance with the latest editions of the International Energy Conservation Code.
 8. All work shall be in accordance with the latest editions of the International Plumbing Code.
 9. All work shall be in accordance with the latest editions of the International Electrical Code.
 10. All work shall be in accordance with the latest editions of the International Fire and Safety Code.
 11. All work shall be in accordance with the latest editions of the International Fire and Safety Code.
 12. All work shall be in accordance with the latest editions of the International Fire and Safety Code.
 13. All work shall be in accordance with the latest editions of the International Fire and Safety Code.
 14. All work shall be in accordance with the latest editions of the International Fire and Safety Code.
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 18. All work shall be in accordance with the latest editions of the International Fire and Safety Code.
 19. All work shall be in accordance with the latest editions of the International Fire and Safety Code.
 20. All work shall be in accordance with the latest editions of the International Fire and Safety Code.

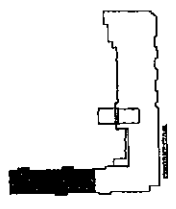
- LEGEND:
- 1. 8" x 8" WALL, EXPOSED INSULATION
 - 2. 8" x 8" WALL, EXPOSED INSULATION
 - 3. 8" x 8" WALL, EXPOSED INSULATION
 - 4. 8" x 8" WALL, EXPOSED INSULATION
 - 5. 8" x 8" WALL, EXPOSED INSULATION
 - 6. 8" x 8" WALL, EXPOSED INSULATION
 - 7. 8" x 8" WALL, EXPOSED INSULATION
 - 8. 8" x 8" WALL, EXPOSED INSULATION
 - 9. 8" x 8" WALL, EXPOSED INSULATION
 - 10. 8" x 8" WALL, EXPOSED INSULATION
 - 11. 8" x 8" WALL, EXPOSED INSULATION
 - 12. 8" x 8" WALL, EXPOSED INSULATION
 - 13. 8" x 8" WALL, EXPOSED INSULATION
 - 14. 8" x 8" WALL, EXPOSED INSULATION
 - 15. 8" x 8" WALL, EXPOSED INSULATION
 - 16. 8" x 8" WALL, EXPOSED INSULATION
 - 17. 8" x 8" WALL, EXPOSED INSULATION
 - 18. 8" x 8" WALL, EXPOSED INSULATION
 - 19. 8" x 8" WALL, EXPOSED INSULATION
 - 20. 8" x 8" WALL, EXPOSED INSULATION



SECOND FLOOR PLAN
20' DIMENSIONS BY FOOTING



FOR SETTING AND CHANGING
DO NOT SCALE THIS PLAN
FOR ANY OTHER PURPOSE



SECOND FLOOR PLAN	
PROJECT NUMBER	2000-0000
DATE	01/01/00
BY	01/01/00
CHECKED	01/01/00
DESIGNED	01/01/00
APPROVED	01/01/00

A2.2.1

EMBASSY SUITES, DESIGN OPTION 3
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC



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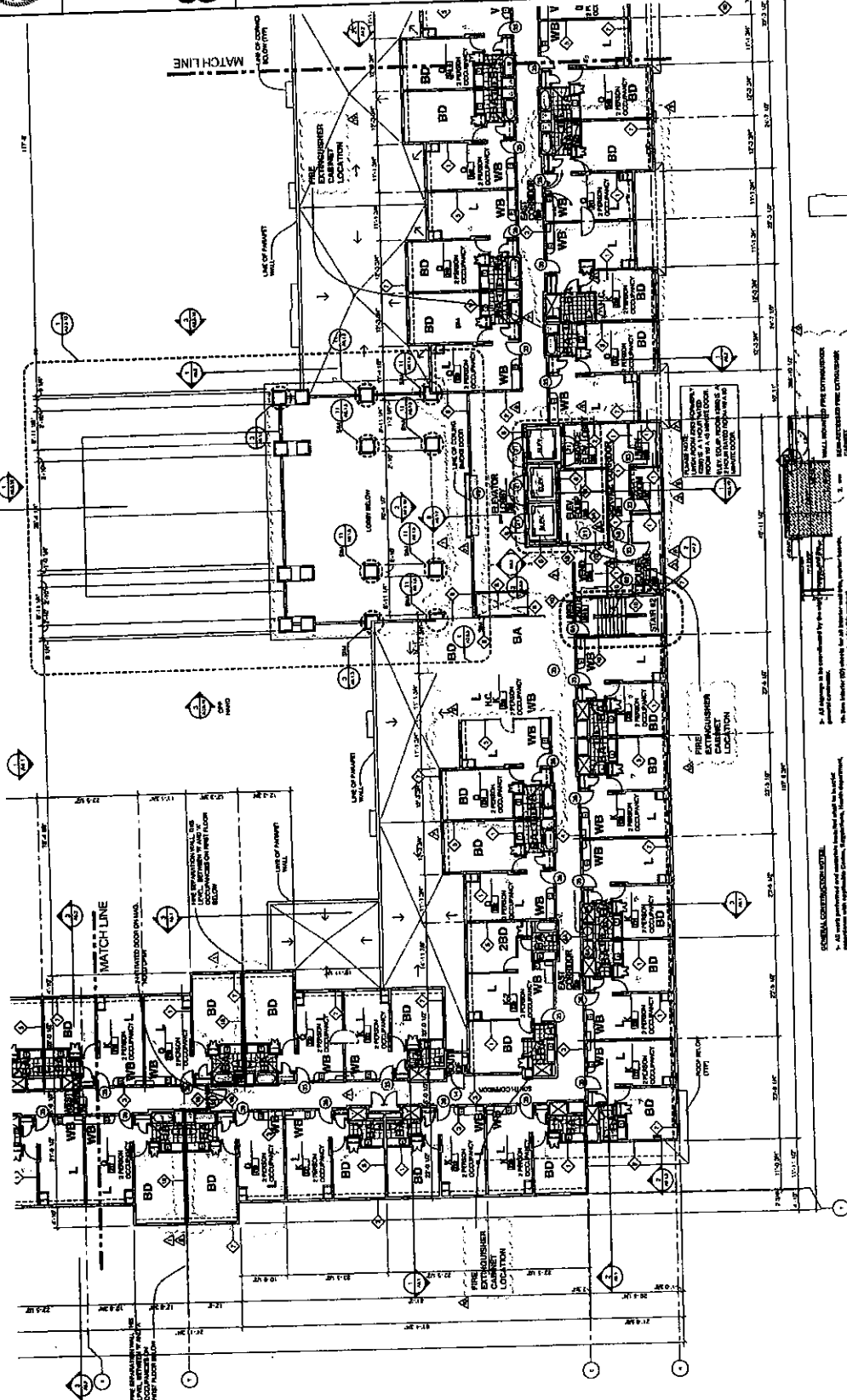
EMBASSY SUITES, DESIGN OF
600 EAST BENSON ROAD
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC

EMBASSY SUITES, DESIGN OPTION 3



SEVEN
22

44-38861-1000
44-38861-1000
44-38861-1000

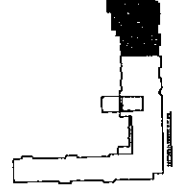


TELEPHONE CONSULTATIONS

- [illegible]

SECOND FLOOR PLAN

PER NOTES AND DIMENSIONS
NOT TO SCALE
DATE: 10/1/14
BY: [Signature]



EMBASSY SUITES, DESIGN OPTION 3
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC



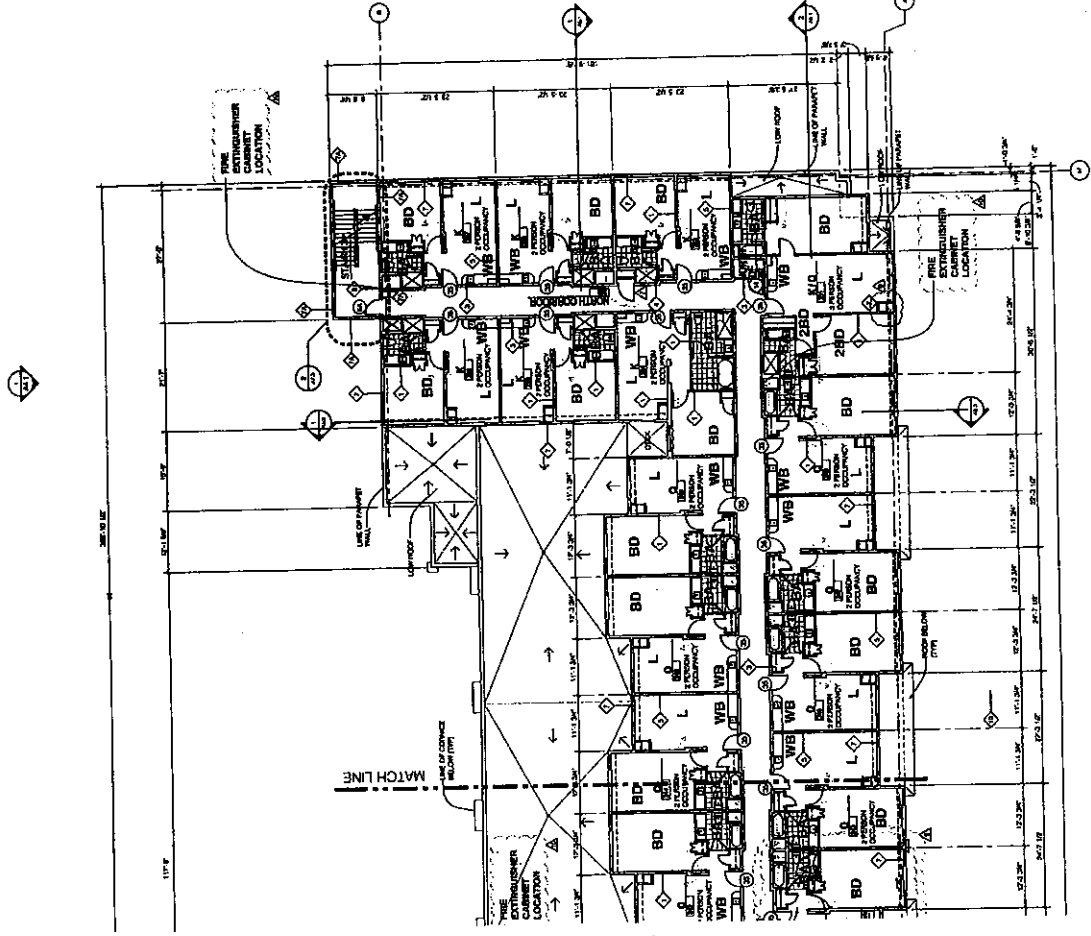
600 EAST BENSON ROAD
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC

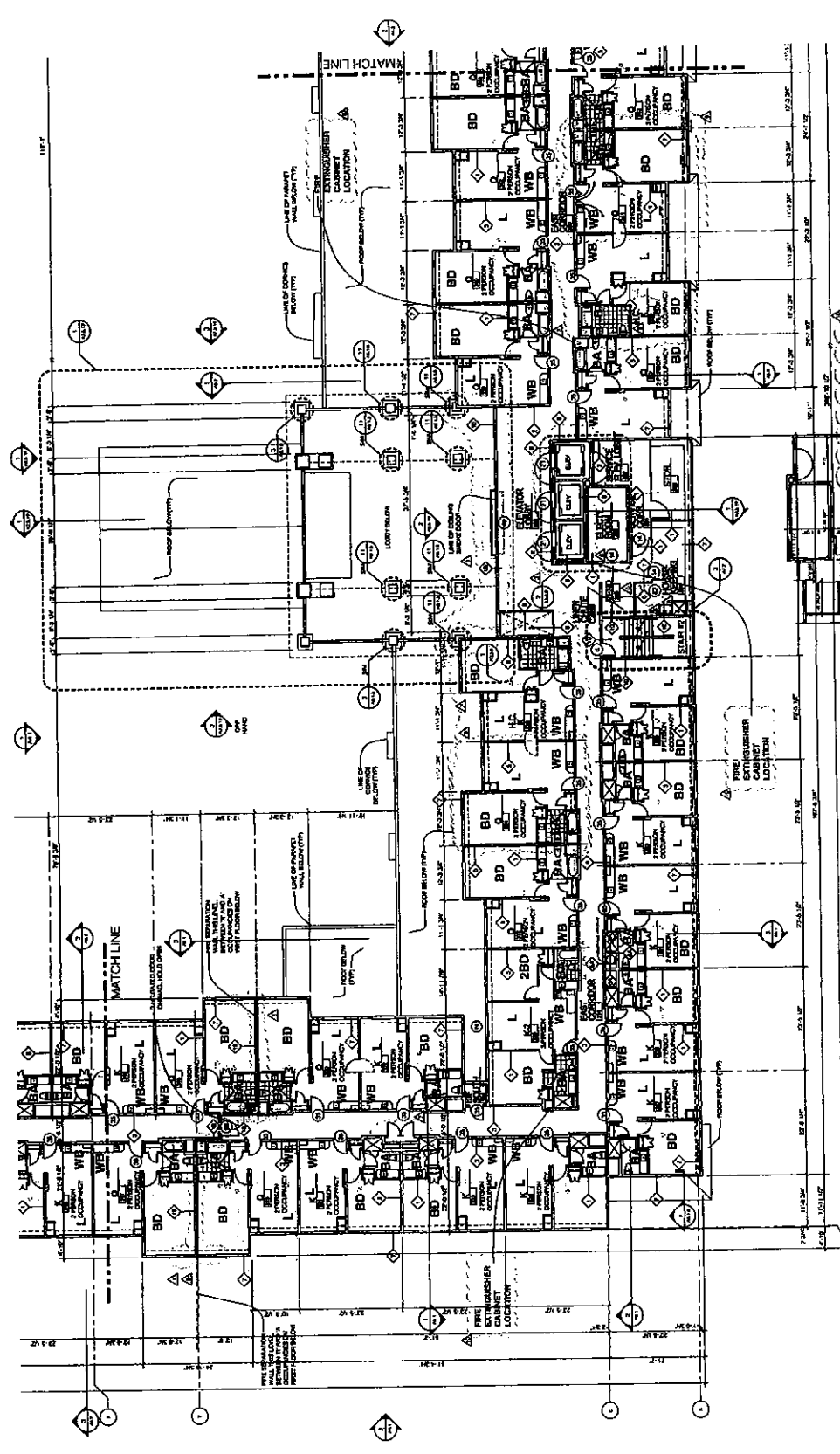


SHREVE
3000 WILLOW AVENUE, SUITE 100
ANCHORAGE, ALASKA 99503
TEL: 907.562.1234
WWW.SHREVE.COM



- REVISIONS:**
- 1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Fire Code (IFC).
 - 2. All work shall be in accordance with the latest edition of the Alaska Building Code (ABC) and the Alaska Fire Code (AFC).
 - 3. All work shall be in accordance with the latest edition of the Alaska Mechanical Code (AMC) and the Alaska Electrical Code (AEC).
 - 4. All work shall be in accordance with the latest edition of the Alaska Plumbing Code (APC) and the Alaska Gas Code (AGC).
 - 5. All work shall be in accordance with the latest edition of the Alaska Energy Code (AEC) and the Alaska Sustainability Code (ASC).
 - 6. All work shall be in accordance with the latest edition of the Alaska Accessibility Code (AAC) and the Alaska Historic Preservation Code (AHPC).
 - 7. All work shall be in accordance with the latest edition of the Alaska Environmental Code (AEC) and the Alaska Cultural Resources Code (ACRC).
 - 8. All work shall be in accordance with the latest edition of the Alaska Land Use Code (ALUC) and the Alaska Zoning Code (AZC).
 - 9. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
 - 10. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
 - 11. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
 - 12. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
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 - 16. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
 - 17. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
 - 18. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
 - 19. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).
 - 20. All work shall be in accordance with the latest edition of the Alaska Parks and Recreation Code (APRC) and the Alaska Open Space Code (AOSC).





GENERAL NOTES:

1. See Section 050500 for all details and specifications for fire extinguishers.
2. See Section 050500 for all details and specifications for fire extinguishers.
3. See Section 050500 for all details and specifications for fire extinguishers.
4. See Section 050500 for all details and specifications for fire extinguishers.
5. See Section 050500 for all details and specifications for fire extinguishers.
6. See Section 050500 for all details and specifications for fire extinguishers.
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16. See Section 050500 for all details and specifications for fire extinguishers.
17. See Section 050500 for all details and specifications for fire extinguishers.
18. See Section 050500 for all details and specifications for fire extinguishers.
19. See Section 050500 for all details and specifications for fire extinguishers.
20. See Section 050500 for all details and specifications for fire extinguishers.

THIRD FLOOR PLAN

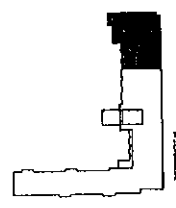
SCALE: 3/8" = 1'-0"

3/20/2018

A2.3.3

THIRD FLOOR
PLAN
3 OF 3

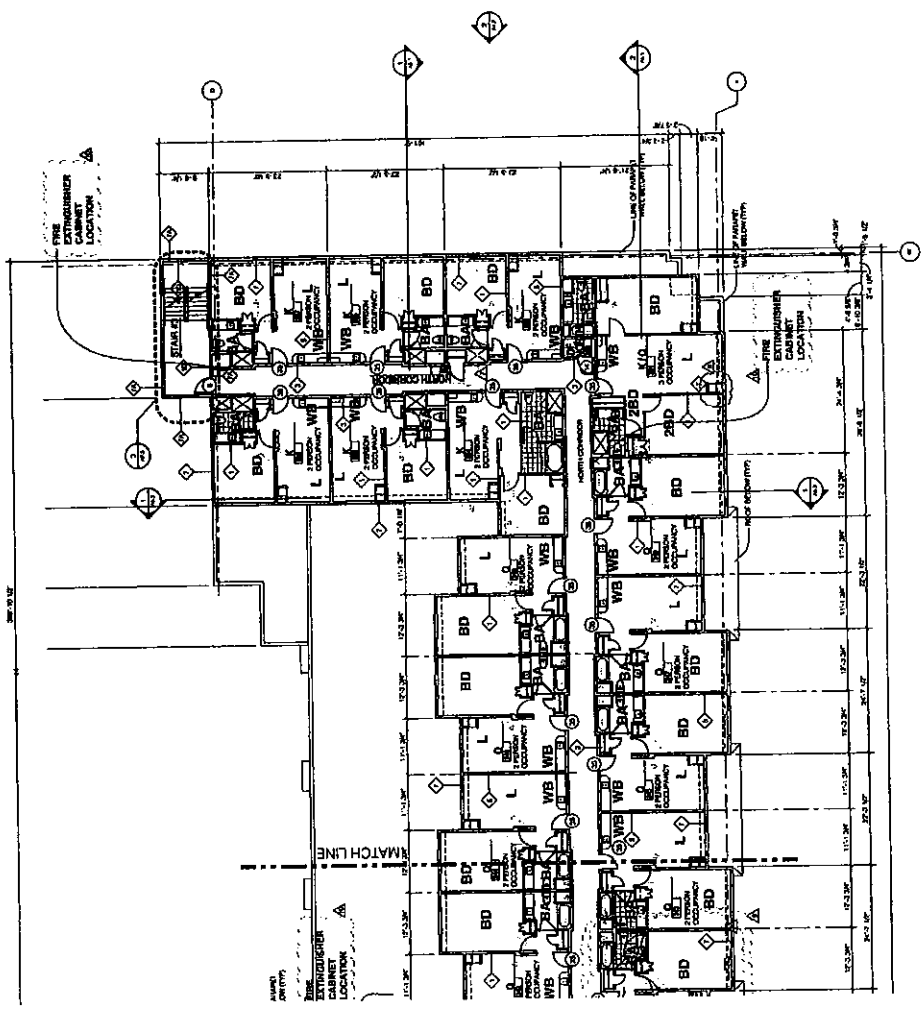
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH
NOT TO SCALE AND DIMENSIONS
NOT FOR CONSTRUCTION
EXCEPT FOR THE
DIMENSIONS SHOWN



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	11/11/11
2	REVISED PER COMMENTS	11/11/11
3	REVISED PER COMMENTS	11/11/11
4	REVISED PER COMMENTS	11/11/11
5	REVISED PER COMMENTS	11/11/11
6	REVISED PER COMMENTS	11/11/11
7	REVISED PER COMMENTS	11/11/11
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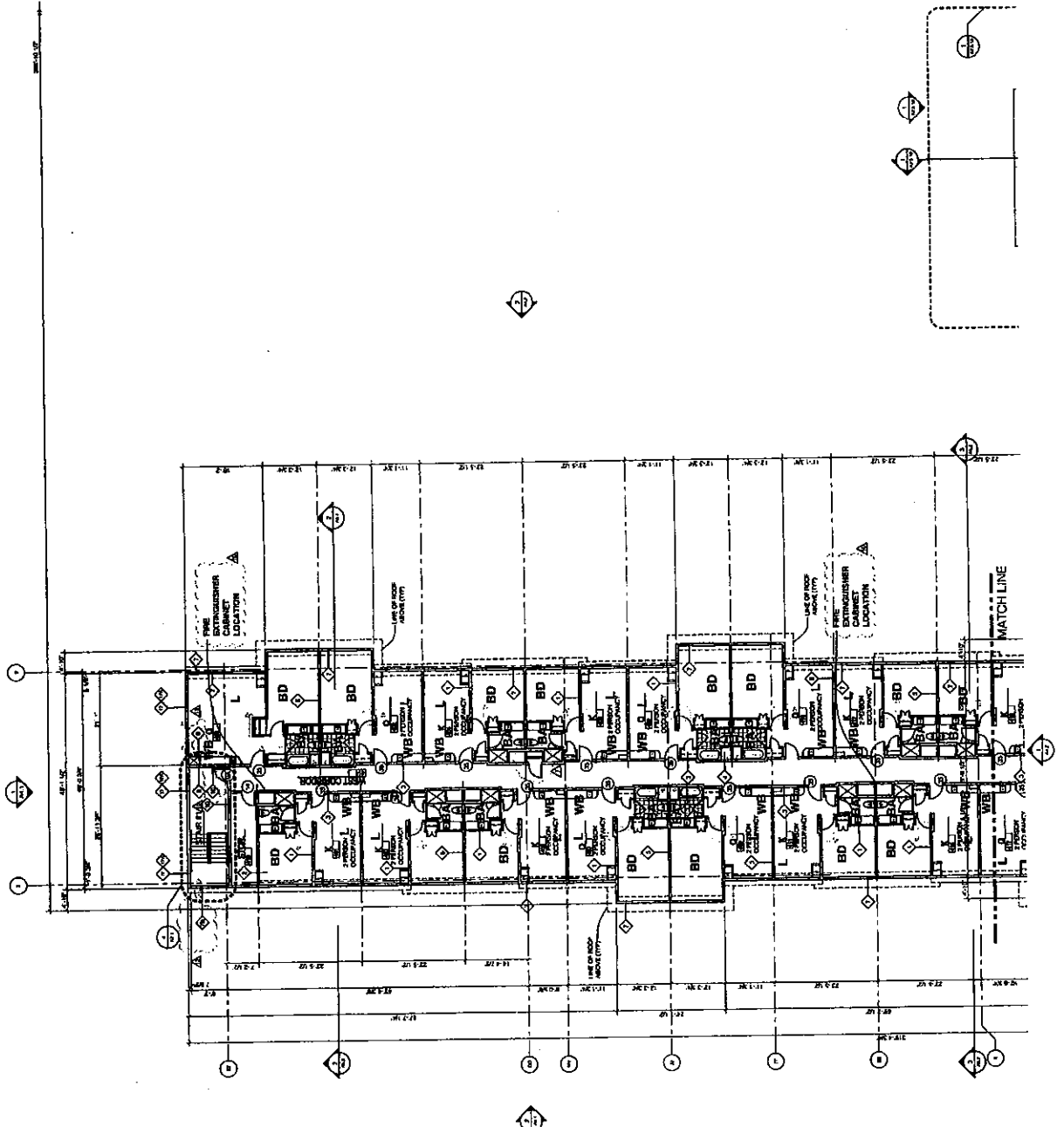
EMBASSY SUITES, DESIGN OPTION 3
600 EAST BENSON ROAD
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC

SEVEN
2220 G ST. WY. 2ND FLOOR
ANCHORAGE, ALASKA 99503
360.444.1111

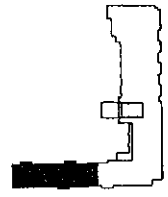


- GENERAL NOTES:**
1. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 2. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 3. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 4. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 5. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 6. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 7. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 8. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 9. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.
 10. All rooms are to be furnished with the following: Bed, Bedding, Linens, Bathing, Kitchen, and Dining Room Furniture.

1. 8 FT. WALL MOUNTED FIRE EXTINGUISHER
2. 8 FT. WALL MOUNTED FIRE EXTINGUISHER
3. 8 FT. WALL MOUNTED FIRE EXTINGUISHER



FOURTH FLOOR PLAN
1 OF 3
34' 0" GRID TO FOOTING



NO.	DATE	DESCRIPTION
1	10/1/11	ISSUED FOR PERMIT
2	10/1/11	REVISIONS
3	10/1/11	REVISIONS
4	10/1/11	REVISIONS
5	10/1/11	REVISIONS
6	10/1/11	REVISIONS
7	10/1/11	REVISIONS
8	10/1/11	REVISIONS
9	10/1/11	REVISIONS
10	10/1/11	REVISIONS
11	10/1/11	REVISIONS
12	10/1/11	REVISIONS

DESIGNED BY: [Firm Name]
ANCHORAGE, ALASKA
PROJECT NUMBER: [Number]
DATE: [Date]

EMBASSY SUITES, DESIGN OPTION 3

600 EAST BENSON ROAD
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC

SEVEN
GREENWOOD AVENUE, SUITE 200
ANCHORAGE, ALASKA 99503
TEL: (907) 552-1234
FAX: (907) 552-1235
WWW.SEBEN.COM



- GENERAL NOTES:**
1. All work shall conform to the latest editions of the International Building Code (IBC) and the International Residential Code (IRC).
 2. All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.
 3. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.
 4. The contractor shall be responsible for maintaining the site in a safe and secure condition at all times.
 5. The contractor shall be responsible for protecting all existing structures and utilities that may be encountered during the construction process.
 6. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 7. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 8. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 9. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 10. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 11. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 12. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 13. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 14. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 15. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 16. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 17. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 18. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 19. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
 20. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

NOTES:
1. 8' 0" O.C.
2. 16' 0" O.C.
3. 24' 0" O.C.



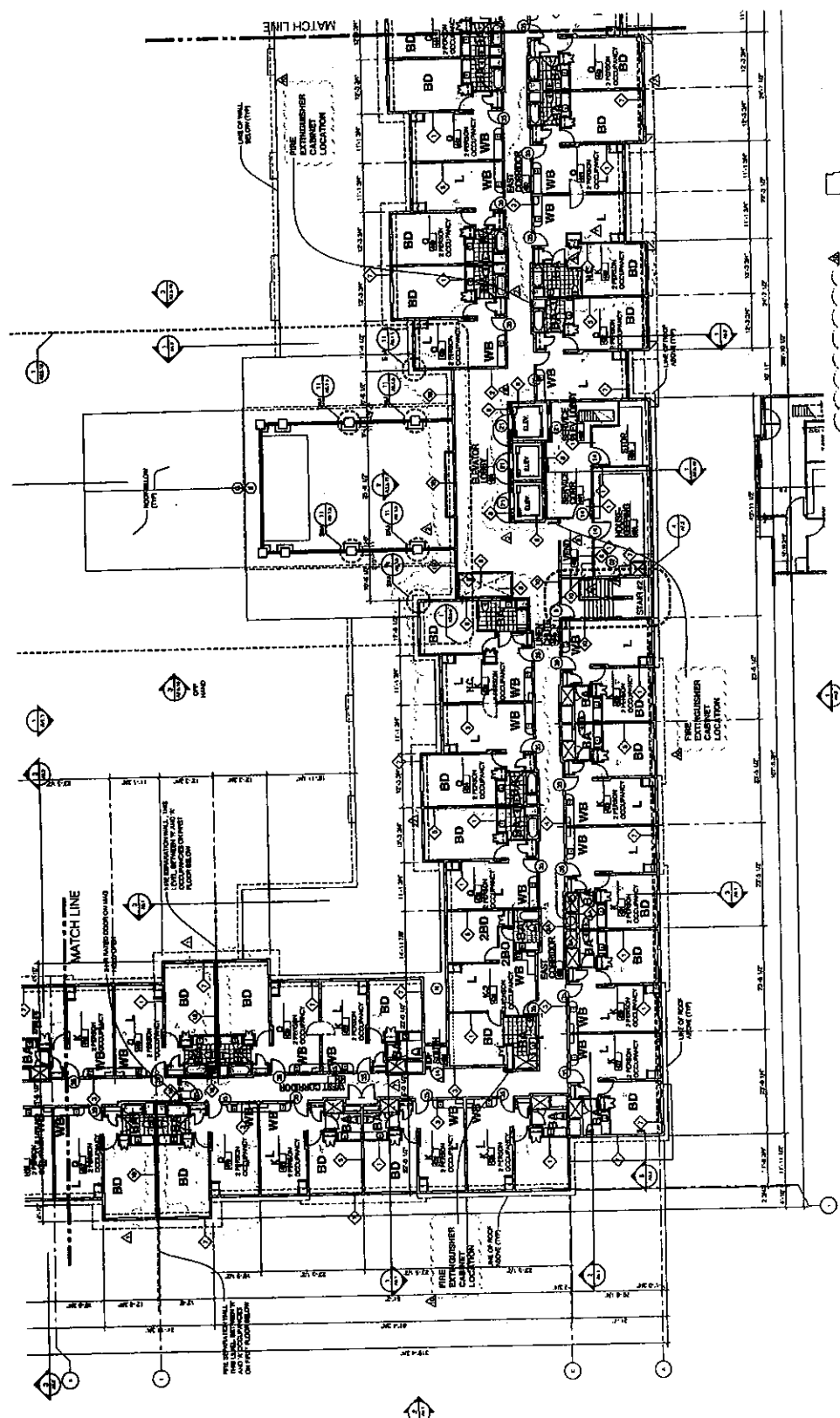
SEVEN
GREENWOOD VILLAGE, CO 80111

EMBASSY SUITES, DESIGN OPTION 3
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC
600 EAST BENSON ROAD



EMBASSY SUITES, DESIGN OPTION 3
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC
600 EAST BENSON ROAD

FLOOR PLAN		FOURTH FLOOR		PLAN		A2.4.2	
PLAN	NO.	NO.	NO.	NO.	NO.	NO.	NO.
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FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE: 10/11/01

GENERAL NOTES:

1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Fire Code (IFC).
2. All work shall be in accordance with the latest edition of the International Mechanical Code (IMC) and the International Plumbing Code (IPC).
3. All work shall be in accordance with the latest edition of the International Electrical Code (IEC) and the International Fire Code (IFC).
4. All work shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Building Code (IBC).
5. All work shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Building Code (IBC).
6. All work shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Building Code (IBC).
7. All work shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Building Code (IBC).
8. All work shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Building Code (IBC).
9. All work shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Building Code (IBC).
10. All work shall be in accordance with the latest edition of the International Fire Code (IFC) and the International Building Code (IBC).

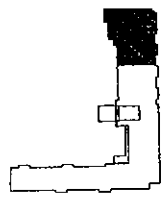
LEGEND:

- 1. 1/8" = 1'-0"
- 2. 1/4" = 1'-0"
- 3. 1/2" = 1'-0"
- 4. 3/4" = 1'-0"
- 5. 1" = 1'-0"
- 6. 1 1/4" = 1'-0"
- 7. 1 1/2" = 1'-0"
- 8. 1 3/4" = 1'-0"
- 9. 2" = 1'-0"
- 10. 2 1/4" = 1'-0"
- 11. 2 1/2" = 1'-0"
- 12. 2 3/4" = 1'-0"
- 13. 3" = 1'-0"
- 14. 3 1/4" = 1'-0"
- 15. 3 1/2" = 1'-0"
- 16. 3 3/4" = 1'-0"
- 17. 4" = 1'-0"
- 18. 4 1/4" = 1'-0"
- 19. 4 1/2" = 1'-0"
- 20. 4 3/4" = 1'-0"
- 21. 5" = 1'-0"
- 22. 5 1/4" = 1'-0"
- 23. 5 1/2" = 1'-0"
- 24. 5 3/4" = 1'-0"
- 25. 6" = 1'-0"
- 26. 6 1/4" = 1'-0"
- 27. 6 1/2" = 1'-0"
- 28. 6 3/4" = 1'-0"
- 29. 7" = 1'-0"
- 30. 7 1/4" = 1'-0"
- 31. 7 1/2" = 1'-0"
- 32. 7 3/4" = 1'-0"
- 33. 8" = 1'-0"
- 34. 8 1/4" = 1'-0"
- 35. 8 1/2" = 1'-0"
- 36. 8 3/4" = 1'-0"
- 37. 9" = 1'-0"
- 38. 9 1/4" = 1'-0"
- 39. 9 1/2" = 1'-0"
- 40. 9 3/4" = 1'-0"
- 41. 10" = 1'-0"
- 42. 10 1/4" = 1'-0"
- 43. 10 1/2" = 1'-0"
- 44. 10 3/4" = 1'-0"
- 45. 11" = 1'-0"
- 46. 11 1/4" = 1'-0"
- 47. 11 1/2" = 1'-0"
- 48. 11 3/4" = 1'-0"
- 49. 12" = 1'-0"
- 50. 12 1/4" = 1'-0"
- 51. 12 1/2" = 1'-0"
- 52. 12 3/4" = 1'-0"
- 53. 13" = 1'-0"
- 54. 13 1/4" = 1'-0"
- 55. 13 1/2" = 1'-0"
- 56. 13 3/4" = 1'-0"
- 57. 14" = 1'-0"
- 58. 14 1/4" = 1'-0"
- 59. 14 1/2" = 1'-0"
- 60. 14 3/4" = 1'-0"
- 61. 15" = 1'-0"
- 62. 15 1/4" = 1'-0"
- 63. 15 1/2" = 1'-0"
- 64. 15 3/4" = 1'-0"
- 65. 16" = 1'-0"
- 66. 16 1/4" = 1'-0"
- 67. 16 1/2" = 1'-0"
- 68. 16 3/4" = 1'-0"
- 69. 17" = 1'-0"
- 70. 17 1/4" = 1'-0"
- 71. 17 1/2" = 1'-0"
- 72. 17 3/4" = 1'-0"
- 73. 18" = 1'-0"
- 74. 18 1/4" = 1'-0"
- 75. 18 1/2" = 1'-0"
- 76. 18 3/4" = 1'-0"
- 77. 19" = 1'-0"
- 78. 19 1/4" = 1'-0"
- 79. 19 1/2" = 1'-0"
- 80. 19 3/4" = 1'-0"
- 81. 20" = 1'-0"
- 82. 20 1/4" = 1'-0"
- 83. 20 1/2" = 1'-0"
- 84. 20 3/4" = 1'-0"
- 85. 21" = 1'-0"
- 86. 21 1/4" = 1'-0"
- 87. 21 1/2" = 1'-0"
- 88. 21 3/4" = 1'-0"
- 89. 22" = 1'-0"
- 90. 22 1/4" = 1'-0"
- 91. 22 1/2" = 1'-0"
- 92. 22 3/4" = 1'-0"
- 93. 23" = 1'-0"
- 94. 23 1/4" = 1'-0"
- 95. 23 1/2" = 1'-0"
- 96. 23 3/4" = 1'-0"
- 97. 24" = 1'-0"
- 98. 24 1/4" = 1'-0"
- 99. 24 1/2" = 1'-0"
- 100. 24 3/4" = 1'-0"

A2.4.3

FOURTH FLOOR
PLAN
3 OF 3

FOURTH FLOOR PLAN
3 OF 3
NOT TO SCALE
5/16/2012
5/16/2012



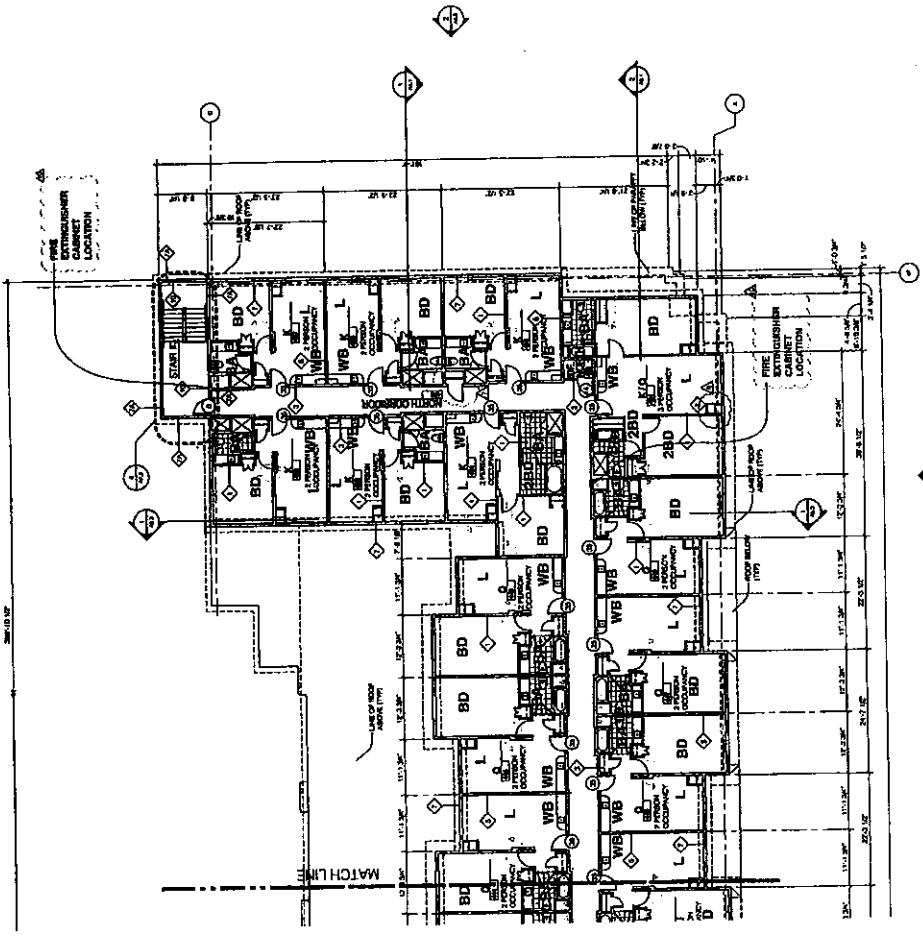
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5	REVISION	5/16/2012
6	REVISION	5/16/2012
7	REVISION	5/16/2012
8	REVISION	5/16/2012
9	REVISION	5/16/2012
10	REVISION	5/16/2012

EMBASSY SUITES, DESIGN OPTION 3
ANCHORAGE, ALASKA, 99503
DENALI LODGING, LLC

SEVEN
GREENWOOD AVENUE, SUITE 100
ANCHORAGE, ALASKA 99503



- GENERAL NOTES:**
1. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Fire Code (IFC).
 2. All construction shall be in accordance with the latest edition of the Alaska Building Code (ABC) and the Alaska Fire Code (AFC).
 3. All construction shall be in accordance with the latest edition of the Alaska Mechanical Code (AMC) and the Alaska Electrical Code (AEC).
 4. All construction shall be in accordance with the latest edition of the Alaska Plumbing Code (APC) and the Alaska Gas Code (AGC).
 5. All construction shall be in accordance with the latest edition of the Alaska Energy Code (AEC) and the Alaska Sustainability Code (ASC).
 6. All construction shall be in accordance with the latest edition of the Alaska Accessibility Code (AAC) and the Alaska Historic Preservation Code (AHPC).
 7. All construction shall be in accordance with the latest edition of the Alaska Environmental Code (AEC) and the Alaska Cultural Resources Code (ACRC).
 8. All construction shall be in accordance with the latest edition of the Alaska Land Use Code (ALUC) and the Alaska Zoning Code (AZC).
 9. All construction shall be in accordance with the latest edition of the Alaska Fire Code (AFC) and the Alaska Fire Department Code (AFDC).
 10. All construction shall be in accordance with the latest edition of the Alaska Fire Department Code (AFDC) and the Alaska Fire Department Code (AFDC).



EMBASSY SUITES
ANCHORAGE, ALASKA
DEANALI LODGING
FOODSERVICE EQUIPMENT PLAN

1.1.1.1

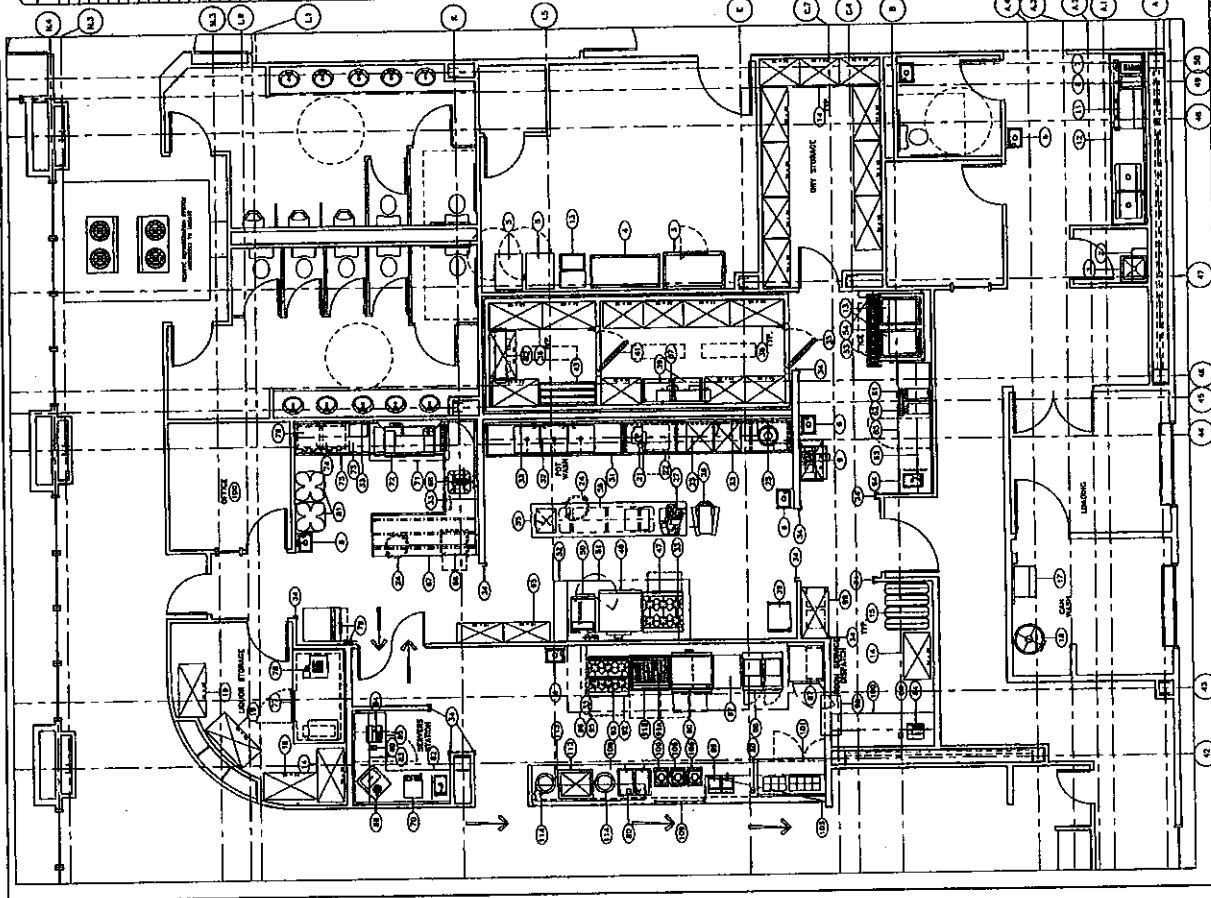
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PLANT #	C.M.
SCHEDULE	08-17-93
DAILY COMMENTS	
RATE NUMBER	02-PD-B
FREIGHT NO.	

FS-1.1

SAFETY MANAGER

SHEET INDEX	
FS-11	EQUIPMENT PLAN & LEGEND
FS-12	SPECIAL CONDITIONS PLAN
FS-13	PLUMBING PLAN
FS-14	ELECTRICAL PLAN
FS-21	EQUIPMENT PLAN & LEGEND
FS-22	SPECIAL CONDITIONS PLAN
FS-23	PLUMBING PLAN
FS-24	ELECTRICAL PLAN
EQUIPMENT PLAN	

EQUIPMENT			SCHEDULE		W 44-2 CONTRACT	
ITEM	DESCRIPTION	QTY	REMARKS	W 44-2 CONTRACT	W 44-2 CONTRACT	W 44-2 CONTRACT
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4/10/11	4/10/11
5/10/11	5/10/11
6/10/11	6/10/11
7/10/11	

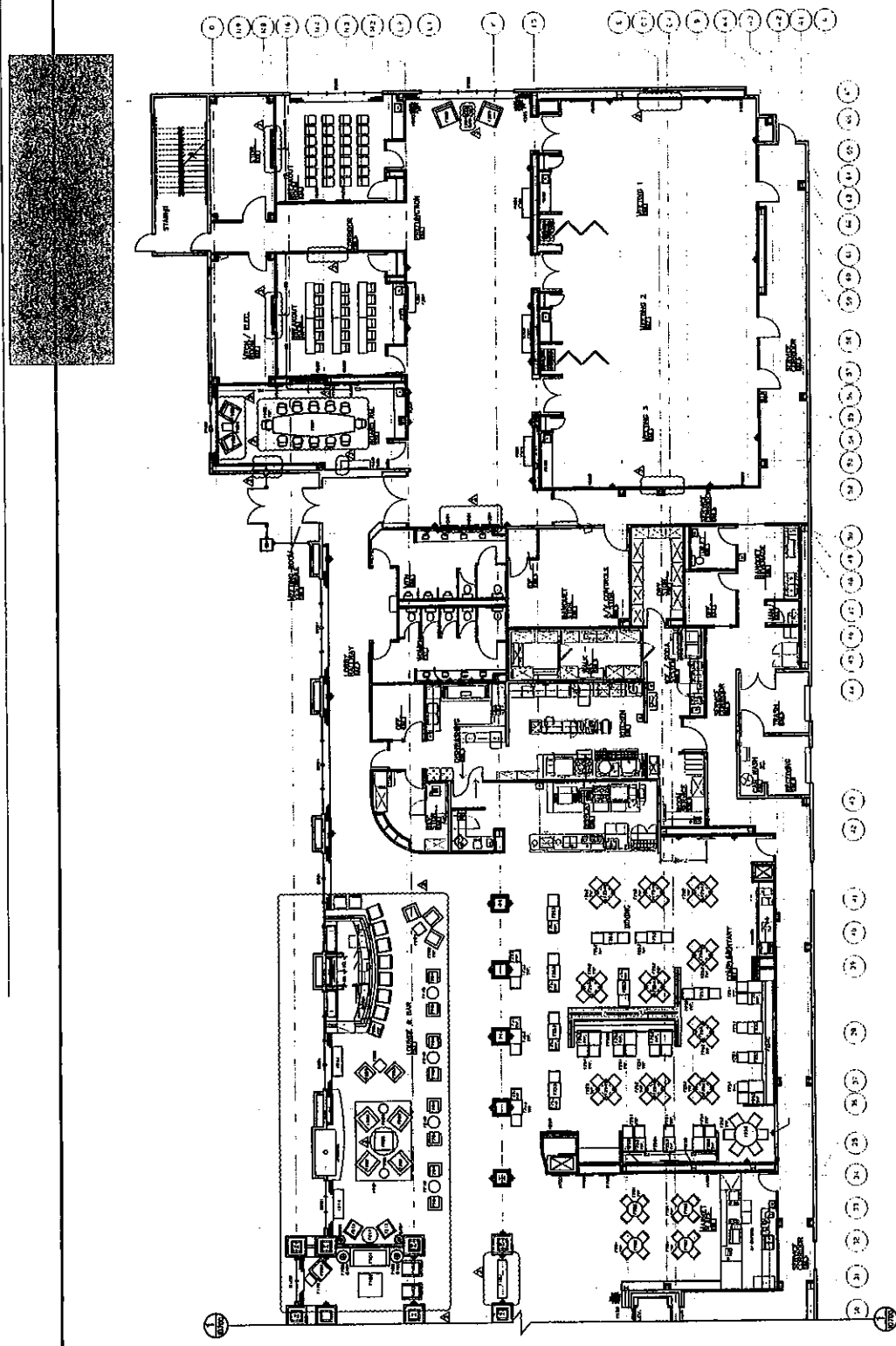
1. The first step is to identify the problem. This involves understanding the symptoms and the context in which they are occurring.

REVISIONS	
NO.	DATE DESCRIPTION

BEVERAGE COUNTER

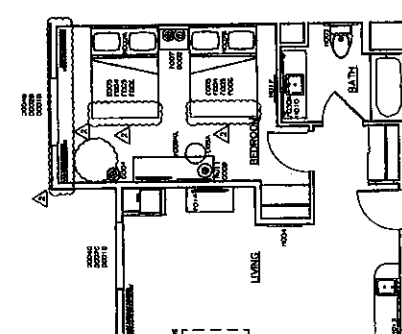
MARKETPLACE

[illegible]



蘇州通城商行內網金庫

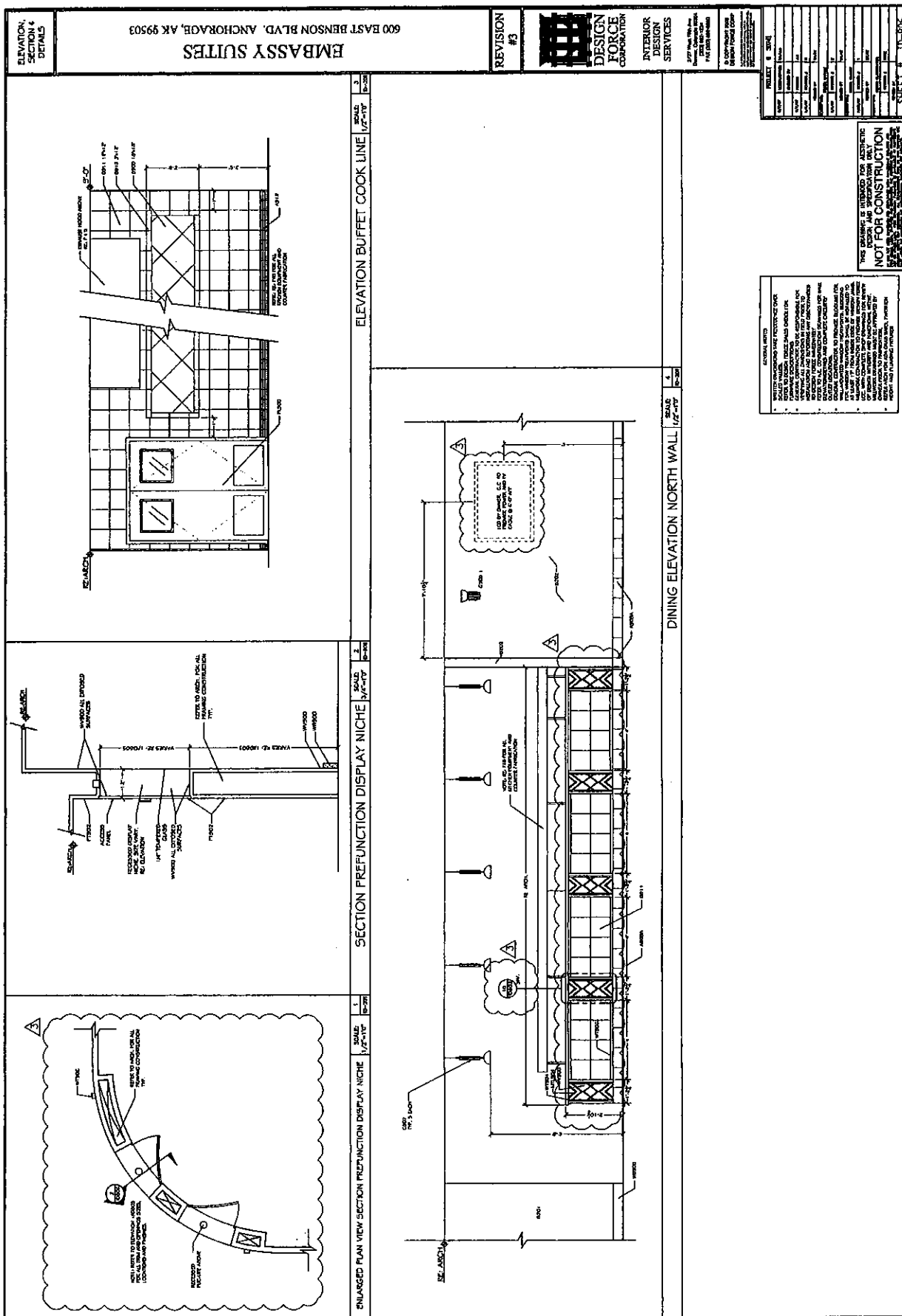
[illegible]



1) QUEENQUEEN STANDARD WIDE

ATRIUM COLUMN ELEVATIONS

THIS DRAWING IS INTENDED FOR AESTHETIC DESIGN AND SPECIFICATION ONLY
NOT FOR CONSTRUCTION



4

POSTING

AFFIDAVIT



RECEIVED

JAN 18 2008

PLANNING DEPARTMENT

AFFIDAVIT OF POSTING

CASE NUMBER: 2008 - 030

I, Willard Robison hereby certify that I have posted a Notice of Public Hearing as prescribed by Anchorage Municipal Code 21.15.005 on the property that I have petitioned for CONDITIONAL USE. The notice was posted on 1/18/08 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 18 day of JANUARY, 2008

Signature

Willard Robison

LEGAL DESCRIPTION

600 E. BENSON BLVD,

Tract or Lot _____

Block _____

Subdivision _____

**HISTORICAL
INFORMATION**

PARCEL INFORMATION**APPRAISAL INFORMATION**Legal HIGH LINE #1
TR AParcel 009-043-36-000
Owner DENALI LODGING LLC

01

Descr HOTEL/MOTEL HIGH RISE
Site Addr 600 E BENSON BLVD9100 E PANORAMA DRIVE #300
ENGLEWOOD CO 80112 7207**RELATED CAMA PARCELS**

Related Parcel(s)	XRef Type	Leased Parcels

Cross Reference (XRef) Type Legend

Econ. Link	Replat	Uncouple
E = Old to New	R = Old to New	U = Old to New
I = New to Old	F = New to Old	Q = New to Old
Renumber	Combine	Lease
N = New to Old	C = New to Old	L = GIS to Lease
X = Old to New	P = Old to New	M = Lease to GIS

Get "Type" explanation

Bring up this form focused
on the related parcel**REZONE**

2008-030

Case Number 2008-030 # of Parcels 1 Hearing Date 01/02/2008
Case Type Assembly conditional use for a hotel serving alcoholic beverages
Legal A Beverage Dispensary-Tourism Alcoholic Beverage Conditional Use for Embassy Suites Hotel. High Line
Subdivision #1, Tract A.

PLAT

S11268

Case Number S11268 Grid SW1631 Proposed Lots 1 Existing Lots 2
Action Type Subdivision & Vacation Action Date 04/21/2004
Legal High Line Addition #1, Tracts A & G, located within the N1/2 of the NE 1/4 of Section 30, T13N, R3W, S.M., Alaska

PERMITS04 6131
06 5523

Permit Number 06 5523
Project EMBASSY SUITES
Work Desc 149587 sq ft living / 169 units**1/30/07 elec transferred to Ironwood In
c**lb
Use R-1 RESIDENTIAL, HOTELS

BZAP

Action No.
Action Date
Resolution
Status
Type

**ALCOHOL
LICENSE**

Business Address
Applicants Name
Conditions
License Type
Status

PARCEL INFORMATION

OWNER
DENALI LODGING LLC

9100 E PANORAMA DRIVE #300
ENGLEWOOD CO 80112 7207

Deed 2003 0042675

CHANGES: Deed Date May 05, 2003

Name Date May 19, 2003

Address Date May 19, 2003

PARCEL

Parcel ID 009-043-36-000

Status

Renumber ID 000-000-00-00000

Site Addr 600 E BENSON BLVD

Comm Concl MIDTOWN

Comments ROW TAKE 13361 SF B220 P94

01

TAX INFO

2008 Tax 42,331.75 Balance 0.00

District 003

LEGAL

HIGH LINE #1
TR A

Unit SQFT 134,989

Plat 700296

Zone B3 Grid SW1631

HISTORY

	Year	Building	Land	Total
Assmt Final	2006	0	1,822,300	1,822,300
Assmt Final	2007	785,300	2,126,100	2,911,400
Assmt Final	2008	17,116,700	2,915,800	20,032,500
Exemptions				0
State Credit				0
Tax Final				20,032,500

PROPERTY INFO

#	Type	Land Use
01	COMMERCIAL	HOTEL/MOTEL HIGH RISE

SALES DATA

Mon	Year	Price	Source	Type
03	1988	1,500,000	BUYER	LAND SALE
05	2003	1,607,150	BUYER	LAND SALE

OWNER HISTORY

APPRAISAL INFORMATION

Legal HIGH LINE #1

TR A

Parcel 009-043-36-000

01 of 01

#

01

Property Info # Descr HOTEL/MOTEL HIGH RISE

Site Address 600 E BENSON BLVD

Current 05/05/03

DENALI LODGING LLC

9100 E PANORAMA DRIVE #300

ENGLEWOOD CO 80112 7207

3rd

1719 0000 03/30/88

A D TRADING INC

5700 W 6TH ST # 401

LOS ANGELES CA 90036

Prev

3130 0000 09/29/97

CHOI SEONG MOON

C/O HACOR INC

8506 OSAGE AVENUE

LOS ANGELES CA 90045

4th

1719 0000 03/30/88

A D TRADING INC

4139 VIA MARINA

STE 905

MARINA DEL REY

CA 90292

2nd

2179 0000 08/06/91

KANG SUK JIN

% MORGAN. LEWIS & BOCKIUS

801 S GRAND AVENUE

22ND FLOOR

LOS ANGELES CA 90017

5th

1300 0000 08/09/85

HACOR INC

3551 POST MARK DR

ANCHORAGE AK 99502



MUNICIPALITY OF ANCHORAGE ASSEMBLY MEMORANDUM

No. AM 111-2008

Meeting Date: February 26, 2008

From: Mayor

Subject: ALCOHOLIC BEVERAGES CONDITIONAL USE IN THE B-3 (GENERAL BUSINESS) DISTRICT FOR A BEVERAGE DISPENSARY TOURISM USE AND LICENSE PER AMC 21.40.180 D.8 FOR DENALI LODGING LLC, DBA DENALI HOTEL SUITES, DBA EMBASSY SUITES HOTEL – ANCHORAGE, ALASKA; LOCATED AT 600 EAST BENSON BOULEVARD, WITHIN TRACT A, HIGHLINE SUBDIVISION ADDITION #1.

1 Navin C. Dimond, representing Denali Lodging LLC, dba Denali Hotel Suites, dba
2 Embassy suites Hotel – Anchorage, Alaska, has made application for a Beverage
3 Dispensary Tourism Alcoholic Beverage Conditional Use and license in the B-3 District,
4 located at 600 East Benson Boulevard, within Tract A, Highline Subdivision Addition #1.

5
6 This proposal is for a Beverage Dispensary Tourism Alcoholic Beverage Conditional Use
7 for a new 169-guestroom hotel for the business and leisure traveling market. The
8 restaurant has 102 non-fixed seating; the lounge/bar has 33 non-fixed seating. The hotel
9 also includes four conference meeting rooms. Construction of the hotel will be completed
10 in May of 2008. The property is zoned B-3, in which alcoholic beverage sales are
11 permitted through the conditional use process.

12
13 The petitioner dba Embassy Suites Hotel – Anchorage, Alaska, has applied to the
14 Alcoholic Beverages Control Board for a new Beverage Dispensary Tourism license.
15 Tourism licenses (beverage dispensary or restaurant eating place license) are approved by
16 the Alcohol Beverage Control Board upon a showing that construction of a tourist facility
17 will encourage tourism, and that the tourist business will constitute a substantial portion of
18 the business of the tourist facility.

19
20 There are no known churches or schools within 200 feet of the petition site, according to
21 Municipal records.

1 There are a total of eleven (11) alcohol conditional uses and licenses within a 1,000-foot
2 radius of the petition site: two (2) beverage dispensary licenses, seven (7) restaurant
3 licenses, and two (2) package store licenses. Approving this beverage dispensary tourism
4 conditional use and license will add a third beverage dispensary license, and the first
5 tourism license within a 1,000-foot radius of the petition site.

6
7 The hotel restaurant and lounge/bar will operate seven days a week. Alcohol will be
8 served in the restaurant during the hours of 5:00 PM to 10:00 PM and 4:00 PM to 12:00
9 AM in the lounge/bar. On-premise sale of alcohol beverages will be available, as permitted
10 by the Alcohol Beverage Control Board requirements, only during the hours allowed for
11 the specific day of the week applicable. The petitioner estimates the sale of alcoholic
12 beverages will represent ten percent compared with ninety percent food sales. Employees
13 involved in the sale of alcoholic beverages will be trained in accordance with the Alcoholic
14 Beverage Control Board's "Liquor Server Alcohol Awareness Training Program," (TAM)
15 and will hold the necessary certifications.

16
17 At the time this report was prepared, the Department of Health and Human Services, and
18 the Anchorage Police Department did not provide comments. Treasury reports there are no
19 delinquent Personal Property Taxes, or Real Property Taxes owing at this time.

20
21 THIS CONDITIONAL USE FOR A BEVERAGE DISPENSARY TOURISM USE AND
22 LICENSE IN THE B-3 DISTRICT GENERALLY MEETS THE APPLICABLE
23 PROVISIONS OF AMC TITLES 10 AND 21, AND ALASKA STATUTE 04.11.090.

24
25 Prepared by: Jerry T. Weaver Jr., Zoning Administrator, Planning Department
26 Concur: Tom Nelson, Director, Planning Department
27 Concur: Mary Jane Michael, Executive Director, Office of Economic &
28 Community Development
29 Concur: Michael K. Abbott, Municipal Manager
30 Respectfully submitted: Mark Begich, Mayor

Content ID: 006023**Type:** AR_AllOther - All Other Resolutions

ALCOHOLIC BEVERAGES CONDITIONAL USE IN THE B-3 (GENERAL BUSINESS) DISTRICT FOR A BEVERAGE DISPENSARY TOURISM USE

Title: AND LICENSE PER AMC 21.40.180 D.8 FOR DENALI LODGING LLC, DBA DENALI HOTEL SUITES, DBA EMBASSY SUITES HOTEL &c" ANCHORAGE, ALASKA; LOCATED AT 60**Author:** weaverjt**Initiating Dept:** Planning**Description:** ALCOHOLIC BEVERAGES CONDITIONAL USE IN THE B-3 (GENERAL BUSINESS) DISTRICT FOR A BEVERAGE DISPENSARY TOURISM USE FOR EMBASSY SUITES**Date Prepared:** 2/13/08 10:06 AM**Director Name:** Tom Nelson**Assembly Meeting Date:** 2/26/08**Public Hearing Date:** 2/26/08

Workflow Name	Action Date	Action	User	Security Group	Content ID
Clerk_Admin_SubWorkflow	2/15/08 2:17 PM	Exit	Heather Handyside	Public	006023
MuniMgrCoord_SubWorkflow	2/15/08 2:17 PM	Approve	Heather Handyside	Public	006023
MuniManager_SubWorkflow	2/15/08 1:50 PM	Approve	Michael Abbott	Public	006023
ECD_SubWorkflow	2/14/08 11:08 AM	Approve	Lisa Villareal	Public	006023
Planning_SubWorkflow	2/13/08 1:59 PM	Approve	Tom Nelson	Public	006023
AllOtherARWorkflow	2/13/08 10:21 AM	Checkin	Jerry Weaver Jr.	Public	006023

2008 FEB 19 2:12:10
11:0 A
CLERK'S OFFICE